

PO Box 1200
Connell, WA 99326

City of Connell



EASTERN
WASHINGTON'S
HARVESTLAND

Phone: (509)234-2701
Fax: (509)234-2704

Building Permit Instruction Sheet

****The following information is required to obtain a building permit****

If all of the information is not provided an application will not be considered complete, this will extend the time required to obtain a building permit.

- 1. A COMPLETED APPLICATION WITH (1) SET OF DETAILED PLANS TO SCALE (Electronic pdf required):** Foundation and floor plans, elevation view (all sides), sectional view, roof and floor frame (other framing schedules as needed), window and door schedules, plus the U-value and other pertinent information as needed.
- 2. SITE PLAN (SHOWING THE ENTIRE PARCEL):** Indicate ALL property line and easements (utility, road, flowage, flood plains, drainage etc.) with distance to structure. Show location and distance between all existing structures and their distance from property line. Indicates all slopes exceeding 5%. Also specify compass directions.
- 3. ACCESS/APPROACH:** All plans must indicate the location of the street access and driveway approach. All accesses and approaches must be in accordance with the Connell Municipal Code and the Public Works Standard Specifications and Standards Plan.
- 4. WATER AND SEWER PERMITS.** A completed application must include completed versions of the following forms:
 - One Application for Water Meter
 - One Application for Sewer Connection
 - One Water/Sewer/Sanitation Application

All plans submitted for a building will be subject to review. Please allow for 2 weeks or more for review depending on size and type of project. Property owners are encouraged to save a copy of the approved plans, inspection reports, and Certificate of Occupancy for their permanent records.

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Building Permit Application

NEW COMMERCIAL BUILDING
 NEW RESIDENTIAL BUILDING
 ADDITION
 ALTERATION/REMODEL
 ACCESSORY BUILDING/STORAGE SHED
 DECK
 OTHER (PLEASE DESCRIBE) _____

_____ \$ _____ Parcel Number
 Property Address Valuation of Work (Commercial Buildings only)

_____ Legal Description (Lot No., Block No.)
 Description of Work

Zoning: _____ Occupancy: _____ Flood Zone: Yes No

_____	_____	_____
Property Owner	Mailing Address	Phone Number
_____	_____	_____
Applicant Name	Mailing Address	Phone Number
_____	_____	_____
Contractor Name	Mailing Address	Phone Number
_____	_____	_____
Contractor St. Lic. No.	Connell Business Lic. No.	Engineer/Architect/Designer

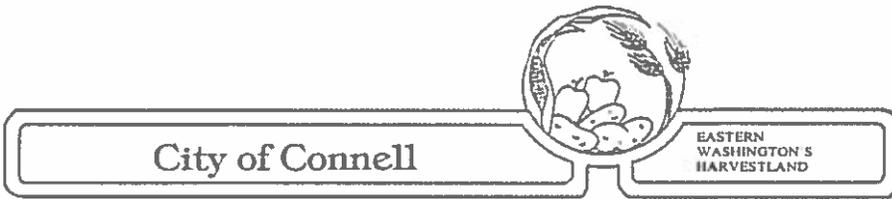
After reviewing your plans, the building/planning department may have questions or require additional information please indicate your preferred person and method of contact:

Name of contact if different from applicant: _____

Telephone: _____
 E-mail: _____
 Mailing Address: _____

******THE FOLLOWING TABLE MUST BE COMPLETED******
IF NOT APPLICABLE MARK N/A

Height to Peak:	Dimensions:	Number of Stories:	Total Habitable Space:
Main Floor SQ FT:	Upper Floor SQ FT:	Unfinished Basement SQ FT:	Finished Basement SQ FT:
Garage SQ FT:	Deck/Covered Patio SQ FT:	Impervious Surface Area:	30% Slopes on Property
Number of Bedrooms:	Construction Type:	Heat Source:	Sewer or Septic:



Notice: Separate permits are required for Electrical.

This application becomes null and void if after 180 days.

I HEREBY CERTIFY that I have read and examined this application and know the same to be true and correct. All provisions of Laws & Ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel provisions of any other state or local law regulating construction or the performance of construction.

Permit Fee	\$ _____
Building Code	\$ _____
Comm. Improvement	\$ _____
Plan Review	\$ _____
Total	\$ _____

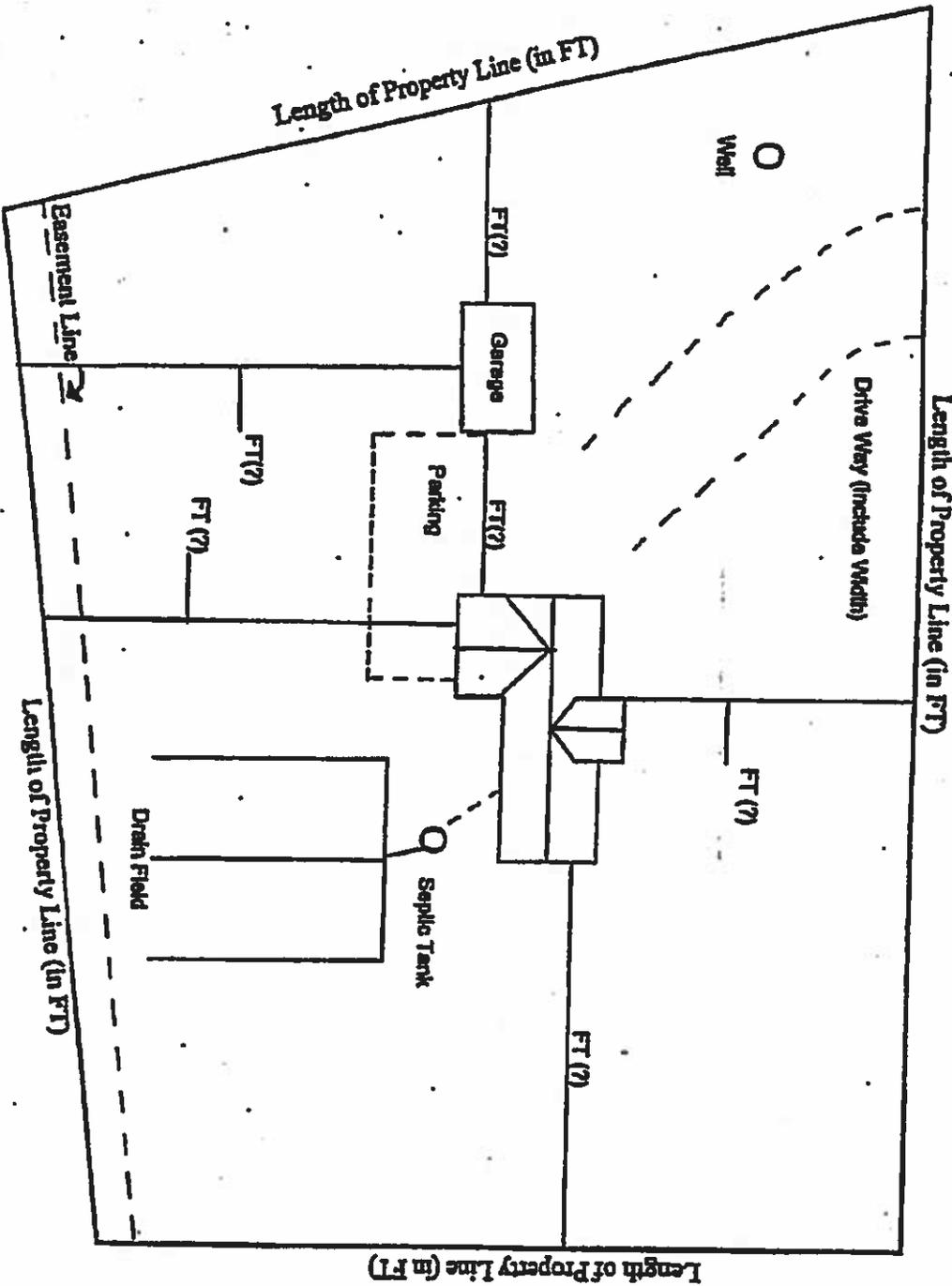
Applicant Signature

Date

Example Only of a Plot Plan. Not to Scale

Legal Description
Lot Number
Short Plot Number and Parcel Number

Street or Road Name



NOTE: ALL EASEMENTS MUST BE SHOWN AND IDENTIFIED

City of Connell

Application for Sewer Connection

Street Address	Date Applied:
	Installation Date:
Legal Description (Lot No., Block No., Tract)	Name & Phone Number of Contact Person
Legal Owner	Owner's Mailing Address & Phone Number
Comments:	Type of Construction (Commercial, Residential, etc.)

Agreement

I, the owner of the above property, situated and being within the City of Connell, in Franklin County, Washington, hereby agree and promise to abide by all Connell Municipal Code provisions relating to the installation of Sewer Connections.

Connell Municipal Code (CMC) 13.20.100 Connection permit required.

No unauthorized person shall uncover, make any connection with or opening into, use, alter, or disturb any public sewer without first obtaining a written permit from the city clerk. No unauthorized person shall open, alter or disturb the streets or alleys of the city for the purpose of making connection with the public sewer system, without first obtaining a written permit therefore from the city clerk. (Ord. 305 § 401, 1971).

It is understood that said Sewer Connection shall become a part of city property, and shall remain the ownership of the city and shall not be removed without permission of the city. It is agreed that the City or its designee shall at all times have access in and to said premises, or where said sewer connection is installed, for the purpose of inspecting the same, and also for the purpose of having said sewer connection repaired. The owner/authorized agent shall not tamper with an approved sewer connection. The owner shall be responsible for any damages which may be necessitated by the owner or his agents. The Director of Public Works of said City for all purposes pertaining to said sewer connection shall be deemed an Agent of the Owner of said premises.

I HEREBY CERTIFY that I have read and examined this application and know the same to be true and correct. All provisions of Laws & Ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel provisions of any other state or local law regulating construction or the performance of construction.

FEE WORKSHEET:

Applicable late comer fees, as per CMC 13.24:	\$ _____
Inspection Fee, as per CMC 13.20.120:	\$ <u>50.00</u> 343 90 00 02
Impact Connection Charge, as per CMC 13.20.213 (3) (a)(b):	\$ _____ 343 50 03 00

Owner/ Authorized Agent Signature	Date
City Employee	Date

TOTAL FEES	\$ _____
Received by:	_____
Receipt No./Date:	_____

**CITY OF CONNELL
WATER/SEWER/SANITATION
APPLICATION**

OWNER/OCCUPANT: _____ DATE: _____

DRIVERS LICENSE, GOVERNMENT ISSUE ID _____ Date service requested : _____

STREET ADDRESS: _____ MAILING ADDRESS: _____

RES. PHONE NUMBER: _____ ALTERNATE PHONE NUMBER: _____

EMPLOYERS NAME: _____ EMPLOYER WORK NUMBER: _____

SPOUSE NAME: _____ WORK NUMBER: _____

SIGNATURE: _____

CONTACT INFORMATION:

Contact person with whom we can discuss your account information:

Name: _____ Phone _____

Relationship: _____

In compliance with Federal Law under the Fair Accurate Credit Transactions Act (FACTA) and the City of Connell Identity Theft Prevention Program, customers are required to provide a valid government issued photo identification (Driver's License, ID or Passport) at the time of this application

The following information is required by the Federal Government in order to monitor compliance with Federal laws prohibiting discrimination against applicants seeking to participate in this program. You are not required to furnish this information, but are encouraged to do so. This information will not be used in evaluating your application or to discriminate against you in anyway. However, if you choose not to furnish it, we are required to note the race/national origin of individual applicants on the basis of visual observation or surname.

Ethnicity: _____ Hispanic or Latino _____ Not Hispanic or Latino
Race: _____ American Indian/Alaskan Native
 _____ Asian
 _____ Black or African American
 _____ White
Sex: _____ Male
 _____ Female

BILLING DEPARTMENT

This is an Equal Opportunity Program. Discrimination is prohibited by Federal law. Complaints of discrimination may be filed with the Administrator, USDA, Rural Development, Washington, D.C. 20250-0700.

FOR INTERNAL USE: Verified Picture ID (issued by _____)
City of Connell Employee Initials/Date _____/_____

DATE CONNECTED: _____ ACCT NO: _____

STOP NO: _____ METER NO: _____ WATER ON READING: _____

WATER CODE: _____ SEWER CODE: _____ SANITATION CODE: _____

Table R402.1.1 Footnotes

For SI: 1 foot = 304.8 mm, ci = continuous insulation, int = intermediate framing.

^a R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the R-value specified in the table.

^b The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

^c "10/15/21.+TB" means R-10 continuous insulation on the exterior of the wall, or R-15 on the continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21.+TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall. "TB" means thermal break between floor slab and basement wall.

^d R-10 continuous insulation is required under heated slab on grade floors. See R402.2.9.1.

^e There are no SHGC requirements in the Marine Zone.

^f Reserved.

^g Reserved.

^h Reserved.

ⁱ The second R-value applies when more than half the insulation is on the interior of the mass wall.

^j Reserved.

^k For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38.

^l Reserved.

^m Int. (intermediate framing) denotes standard framing 16 inches on center with headers insulated with a minimum of R-10 insulation.

Table R402.1.3 Footnote

^a Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source or as specified in Section R402.1.3.

**Table 406.2
Energy Credits (2015 Code)**

OPTION	DESCRIPTION	CREDIT(S)	Estimated Cost
1a	EFFICIENT BUILDING ENVELOPE 1a: Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.28 Floor R-38 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.4: Reduce the Total UA by 5%.	0.5	
1b	EFFICIENT BUILDING ENVELOPE 1b: Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.25 Wall R-21 plus R-4 Floor R-38 Basement wall R-21 int plus R-5 ci Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.4: Reduce the Total UA by 15%.	1.0	
1c	EFFICIENT BUILDING ENVELOPE 1c: Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.22 Ceiling and single-rafter or joist-vaulted R-49 advanced Wood frame wall R-21 int plus R-12 ci Floor R-38 Basement wall R-21 int plus R-12 ci Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.4: Reduce the Total UA by 30%.	2.0	
1d ^a	EFFICIENT BUILDING ENVELOPE 1d: Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.24	0.5	
2a	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2a: Compliance based on R402.4.1.2: Reduce the tested air leakage to 3.0 air changes per hour maximum and All whole house ventilation requirements as determined by Section M1507.3 of the <i>International Residential Code</i> shall be met with a high efficiency fan (maximum 0.35 watts/cfm), not interlocked with the furnace fan. Ventilation systems using a furnace including an ECM motor are allowed, provided that they are controlled to operate at low speed in ventilation only mode. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum tested building air leakage and shall show the qualifying ventilation system.	0.5	
2b	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2b: Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 2.0 air changes per hour maximum and All whole house ventilation requirements as determined by Section M1507.3 of the <i>International Residential Code</i> shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.70. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum tested building air leakage and shall show the heat recovery ventilation system.	1.0	

Table 406.2
Energy Credits (2015 Code)

OPTION	DESCRIPTION	CREDIT(S)	Estimated Cost
2c	<p>AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2c: Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 1.5 air changes per hour maximum</p> <p>and All whole house ventilation requirements as determined by Section M1507.3 of the <i>International Residential Code</i> shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.85.</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum tested building air leakage and shall show the heat recovery ventilation system.</p>	1.5	
3a ^b	<p>HIGH EFFICIENCY HVAC EQUIPMENT 3a: Gas, propane or oil-fired furnace with minimum AFUE of 94%, or Gas, propane or oil-fired boiler with minimum AFUE of 92%</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.</p>	1.0	
3b ^b	<p>HIGH EFFICIENCY HVAC EQUIPMENT 3b: Air-source heat pump with minimum HSPF of 9.0</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.</p>	1.0	
3c ^b	<p>HIGH EFFICIENCY HVAC EQUIPMENT 3c: Closed-loop ground source heat pump, with a minimum COP of 3.3 or Open loop water source heat pump with a maximum pumping hydraulic head of 150 feet and minimum COP of 3.6</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.</p>	1.5	
3d ^b	<p>HIGH EFFICIENCY HVAC EQUIPMENT 3d: Ductless Split System Heat Pumps, Zonal Control: In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to the largest zone of the housing unit.</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.</p>	1.0	
4	<p>HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM: All heating and cooling system components installed inside the conditioned space. This includes all equipment and distribution system components such as forced air ducts, hydronic piping, hydronic floor heating loop, convectors and radiators. All combustion equipment shall be direct vent or sealed combustion.</p> <p>For forced air ducts: A maximum of 10 linear feet of return ducts and 5 linear feet of supply ducts may be located outside the conditioned space. All metallic ducts located outside the conditioned space must have both transverse and longitudinal joints sealed with mastic. If flex ducts are used, they cannot contain splices. Flex duct connections must be made with nylon straps and installed using a plastic strapping tensioning tool. Ducts located outside the conditioned space must be insulated to a minimum of R-8. Locating system components in conditioned crawl spaces is not permitted under this option.</p> <p>Electric resistance heat and ductless heat pumps are not permitted under this option. Direct combustion heating equipment with AFUE less than 80% is not permitted under this option.</p> <p>To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and shall show the location of the heating and cooling equipment and all the ductwork.</p>	1.0	

Table 406.2
Energy Credits (2015 Code)

OPTION	DESCRIPTION	CREDIT(S)	Estimated Cost
5a	<p>EFFICIENT WATER HEATING 5a: All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or less.^c To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum flow rates for all showerheads, kitchen sink faucets, and other lavatory faucets.</p>	0.5	
5b	<p>EFFICIENT WATER HEATING 5b: Water heating system shall include one of the following: Gas, propane or oil water heater with a minimum EF of 0.74 or Water heater heated by ground source heat pump meeting the requirements of Option 3c. or For R-2 occupancy, a central heat pump water heater with an EF greater than 2.0 that would supply DHW to all the units through a central water loop insulated with R-8 minimum pipe insulation. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency.</p>	1.0	
5c	<p>EFFICIENT WATER HEATING 5c: Water heating system shall include one of the following: Gas, propane or oil water heater with a minimum EF of 0.91 or Solar water heating supplementing a minimum standard water heater. Solar water heating will provide a rated minimum savings of 85 therms or 2000 kWh based on the Solar Rating and Certification Corporation (SRCC) Annual Performance of OG-300 Certified Solar Water Heating Systems or Electric heat pump water heater with a minimum EF of 2.0 and meeting the standards of NEEA's Northern Climate Specifications for Heat Pump Water Heaters To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency and, for solar water heating systems, the calculation of the minimum energy savings.</p>	1.5	
5d	<p>EFFICIENT WATER HEATING 5d: A drain water heat recovery unit(s) shall be installed, which captures waste water heat from all the showers, and has a minimum efficiency of 40% if installed for equal flow or a minimum efficiency of 52% if installed for unequal flow. Such units shall be rated in accordance CSA B55.1 and be so labeled. To qualify to claim this credit, the building permit drawings shall include a plumbing diagram that specified the drain water heat recovery units and the plumbing layout needed to install it and labels or other documentation shall be provided that demonstrates that the unit complies with the standard.</p>	0.5	

**Table 406.2
Energy Credits (2015 Code)**

OPTION	DESCRIPTION	CREDIT(S)	Estimated Cost
6	<p>RENEWABLE ELECTRIC ENERGY: For each 1200 kWh of electrical generation per each housing unit provided annually by on-site wind or solar equipment a 0.5 credit shall be allowed, up to 3 credits. Generation shall be calculated as follows: For solar electric systems, the design shall be demonstrated to meet this requirement using the National Renewable Energy Laboratory calculator PVWATTS. Documentation noting solar access shall be included on the plans. For wind generation projects designs shall document annual power generation based on the following factors: The wind turbine power curve; average annual wind speed at the site; frequency distribution of the wind speed at the site and height of the tower. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall show the photovoltaic or wind turbine equipment type, provide documentation of solar and wind access, and include a calculation of the minimum annual energy power production.</p>	0.5	