



Parks, Recreation, and Open Space Plan

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INTRODUCTION

The City of Connell is a growing community with a diverse population. The City values the variety and strengths of all cultures and enjoys many recreational interests, including those enjoyed from childhood to adulthood. Continued development and maintenance of recreational facilities is in the best interest of the community and the surrounding area.

A Park and Recreation Advisory Board (the “Board”) advises the Connell City Council on matters related to parks and recreation. The Board was created in 1957, with three members appointed by the Mayor. The Board’s initial function was to control and supervise parks in Connell, develop rules and regulations, plan for adequate public parks, and advise the Planning Commission concerning park requirements. Over the years, the Board has seen certain changes in its size and responsibilities.

The Board’s size was increased to five members in 1972. The City re-established the Board in 1991, with duties redefined, and the Board now advises the City Council on rules and regulations for operation of the City’s programs, considers requests for conduct and sponsorship of activities, and makes recommendations. The City Council refers all major proposals for parks to the Board, such as construction, reconstruction, improvements, and land acquisition and new programs. For highly significant activities, the Board makes recommendations to the Planning Commission, which then prepares a formal recommendation to the City Council.

Each year, the City employs a Parks and Recreation Coordinator and/or Pool Manager for three to four months to coordinate and promote sports and recreational activities. Driven by enthusiasm and leadership, an active program with variety and continuity has developed. Many notable improvements have been made, despite budgetary constraints. Appealing programs and facilities have been added to complement and enhance recreation. In this effort, the work of volunteers is highly valued and appreciated.

PURPOSE AND SCOPE

The City of Connell’s Parks, Recreation, and Open Space (PROS) Plan serves as a guide for the development of the City’s Parks and Recreation programs. The Washington State Recreation and Conservation Office (RCO), which offers a wide variety of grants pertaining to their mission, requires an update of the plan be prepared every six years to maintain funding eligibility. Once adopted, this PROS Plan:

“...will serve as a daily guide—one that will provide direction and justify the need for acquisition, development, and renovation. The local agency will constantly refer to the plan in decision-making to maximize benefits and optimize funds. Most importantly, the plan provides direction for orderly growth of the local park and recreation system, where each action can be traced to an overall comprehensive plan sensitive to the needs of a dynamic community.”

This Plan is consistent with the “Parks & Open Space Element” of the 2019 Connell Comprehensive Plan, adopted January 2020.

The purpose of this Plan is to (1) identify the recreational needs of the community, such as bike/walking trails, (2) plan for the preservation of open spaces, and (3) plan for the upgrade of current facilities and development of new facilities.

This Plan includes the following:

- Inventory of current recreational facilities
- List of City park policies
- Description of future community needs
- Goals and Objectives
- Strategies to meet future needs and achieve goals and objectives

EXISTING CONDITIONS

DESCRIPTION OF PLANNING AREA

The City of Connell is located in the southeastern section of the State of Washington in the northern portion of Franklin County. The City is adjacent to US Highway 395 and State Route (SR) 260. Connell is 37 miles north of Pasco, 15 miles west of Kahlotus, and 10 miles northeast of Mesa.



The City is situated in the Columbia River Basin. The surrounding terrain is mostly flat to gently rolling. The entire area is intersected by deep drainages called coulees. The City is positioned in the bottom of the intersection of three coulees with high plateaus on all sides. The elevation of Connell is 910 feet above sea level. Connell is primarily surrounded by agricultural activities - both irrigated and dry land farming.

The climate in this area is somewhat mild with definite seasons. Temperatures in the summer range in the 80s and 90s, winter temperatures average in the low 30s with periods in the 20s. The area is semi-arid, with average rainfall of only 8.5 inches per year, and the Columbia Basin does experience a minor amount of snowfall.

According to data collected by Washington State University’s AgWeatherNet program at the N. Connell weather station over the period of March 2008 through November 2019, the average annual precipitation recorded over the past decade is less than 1 inch. The mean maximum monthly temperature was 92.5 degrees, and the mean minimum monthly temperature was 38.3 degrees.

Recreational options in the region, which are not addressed in this Plan, include the Scootney Reservoir Recreation Area, Windust Park, and Devils Bench.

POPULATION AND HOUSING TRENDS

The City of Connell is located within an extensive agricultural area. The City primarily contains housing for agri-business and business owners, their respective employees and their families, and public employees and their families. The City is also home to the Coyote Ridge Corrections Center, which is located on the north side of the City, a major employer.

The population of Connell has grown erratically since 1920 when there were 311 residents recorded by the U.S. Census. By the early 1990s, the City’s population was increasing at a fairly stable pace until the Coyote Ridge Corrections facility opened for inmates in 1993, and by 1999, the population had increased by 795 residents (or 40 percent) to 2,800. The total population in 2010 was 4,209.

The State Office of Financial Management (OFM) provides official estimates of the city population each year, known as intercensal estimates. The data in **Table 1** show that the non-incarcerated population has increased steadily, but slowly (less than 200 people) since 2010, and fewer than 100 housing units have been added to the City in that period.

Table 1. Connell Population and Housing Units, 2010-2018

Year	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019
Total Population	4,209	5,150	5,320	5,350	5,330	5,405	5,365	5,450	5,460	5,500
Group Quarters Population (Prison)	1,451	2,374	2,519	2,503	2,482	2,522	2,466	2,529	2,517	2,510
Population not in Group Quarters	2,758	2,776	2,801	2,847	2,848	2,883	2,899	2,921	2,943	2,990
Housing Units	922	931	938	953	955	966	969	977	987	1,003

In the City’s Comprehensive Plan, the estimated population projection over a 20-year period is used to plan for new residents by the target planning year 2038. OFM forecasts future population categories of low-, mid-, and high-series population “projections,” which communities in Washington State use to plan for future development and related needs, such as park and recreation facilities. Based on the mid-series population projection of 9,173 residents by 2038, and an average household size of 3.21 persons per household, the City will need an additional 1,159 dwelling units consisting of single-family and multi-family dwellings.

The demand for park and open space facilities is affected by how many people are predicted to reside in and around Connell and therefore make use of various facilities, and also by the ages of those people. According to 2010 Census Data, the median age of residents was 32.5, up from 28.7 in 2000. **Table 2** shows the population of Connell divided into categories of age, and exhibits that 25.9 percent of the population is under 18 years old and 45.7 percent of the population is 20 to 44 years old.

Table 2. Population by Age Group

Age	Population	Percent
Under 5 years	284	6.7
5 to 9 years	258	6.1
10 to 14 years	293	7.0
15 to 19 years	258	6.1
20 to 24 years	343	8.1
25 to 34 years	857	20.4
35 to 44 years	727	17.2
45 to 54 years	585	13.9
55 to 59 years	207	4.9
60 to 64 years	168	4.0
65 to 74 years	143	3.3
75 to 84 years	66	1.6
85 and over	20	0.5

Source: 2010 Census

Parks and recreation needs are also influenced by the types of housing found within a community. For example, single-family homes may include a private yard, whereas residents of multi-family units typically share common recreation and open spaces. According to the U.S. Census’ American Community Survey (ACS), there were 642 single-family (detached) units, approximately 310 apartment units, and 205 mobile home-type housing units occupied in 2017.

PARK GUIDELINES

The Board has established the following policies as a guide for current and future planning and development of parks, recreation, and open space in the City of Connell:

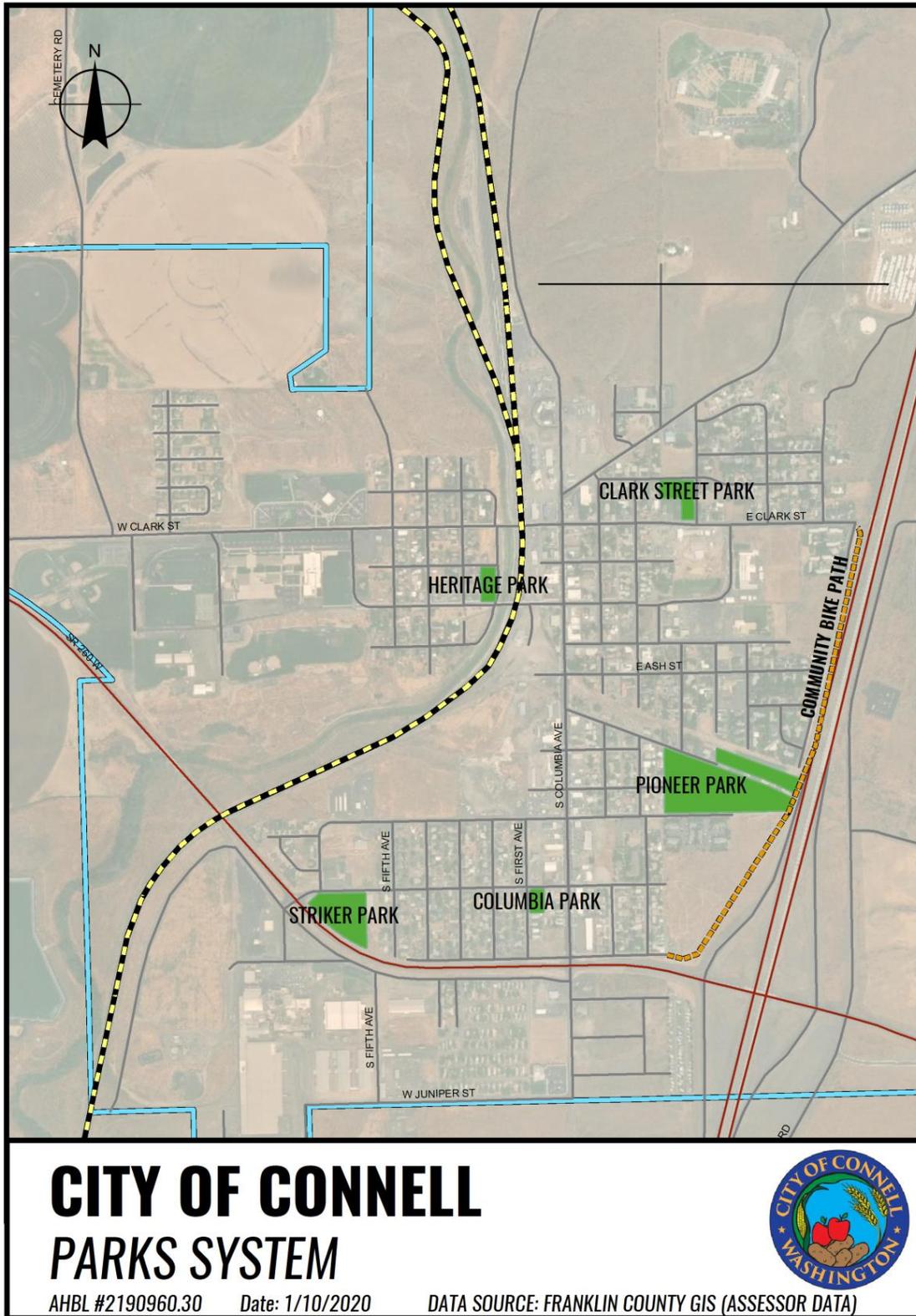
1. Parks and Recreation planning shall promote the health, safety, and well-being of residents in order to enhance the quality of life.
2. Recreational opportunities shall include a wide range of activities to encompass all residents’ interests and capabilities.
3. The City will comply with all Federal and State environmental laws and consider the environmental and aesthetic qualities of Connell as new development occurs in the City.
4. The City may consider utilizing its ability through the Growth Management Act to impose impact fees and/or mitigation of said fees on developers and new development.
5. The Board shall work closely with the Planning Commission, City Council, and staff to prepare a budget for maintenance/operation and capital outlay, with funds set aside for park purposes.

6. Monies collected specifically for the Parks and Recreation Reserve Account will be used to upgrade and replace parks equipment, buildings, structures, and landscaping. Monies may also be used to develop recreation activities at City parks.
7. The Board shall prepare regulations encompassing rules for parks, such as scheduling, fees, and signage – listing rules of each park and guidelines for development and care of facilities. The goal shall be to maintain and preserve parks and equipment and protect investment, and to seek cooperation among community groups via education, stewardship, and maintenance for care and keeping of parks.
8. The Board will encourage all citizens to participate in current and future park projects and activities and make their concerns known to the Board.
9. The Board will develop effective partnerships with community groups and institutions, including but not limited to NFSD, Boy Scouts, Little League, Swim Team, Eagle’s Nest, Library, Downtown Development, Palouse Junction, and others, including park maintenance by Coyote Ridge.
10. In consultation with the City Council, the Board shall seek, identify, recommend and promote a dedicated funding source and create a project list for operation and maintenance of parks.

EXISTING PARKS

The City currently features five developed City parks, including two parks types (neighborhood park and community park), as well as a bike path, on City land comprising over 20 acres. The category of neighborhood parks includes those parks with a service area of a reasonable walking distance less than or equal to 1 mile. The service area for a community park includes all land within the city limits. The majority of the City’s residents are able to easily access and enjoy parks with a number of activities available. **Figure 1** below is a map of the City’s parks, followed by a list of the City’s parks with a bit of history and a description of the amenities.

Figure 1. Locations of existing Parks and Trail/Bike Path



Heritage Park

This park is situated in the original section of Connell and in the original Town Plat from the early 1900s. Located at the corner of W. Adams Street and N. 2nd Avenue, historic Heritage Park (formerly known as Old Town Park) was Connell's first community park. As such, it was the site of many city functions over the years and is still heavily used. This beautiful, old, shaded park is next to the home of the Connell Heritage Museum and features public restrooms, half-court basketball, a volleyball court, swings, and a playground.

Pioneer Park

Pioneer Park was built in the late 1960s and is the most active gathering place for the City. The Connell Fall Festival, an annual community function, is held the second week in September in Pioneer Park. This function celebrates the harvest. Other events include the annual Fourth of July celebration and numerous reunions.

Park facilities include the Pioneer Park Pavilion, a nine-hole Disk Golf course, a playground, restrooms, a basketball court, Little League baseball fields, a skateboard park, a large grassy open area, and several picnic shelters.

The Pioneer Park swimming pool is open during the summer season and consists of an L-shaped lap pool, a wading pool with zero depth entry, men's and women's locker rooms, and a lifeguard and ticketing building with mechanical pump and chemical storage. Aluminum bleachers are located adjacent to the pool area for fans to observe swim meets and/or swim lessons, and for general park use. Two giant water slides were added in 2008, but will be removed prior to the summer 2020 swim season.

The skate park is a relatively new facility that was built at Pioneer Park, located at 341 E. Birch Street. The project was supported by many parents and more than 30 youth who came to council meetings and special advisory meetings to supply input into the design of the facility. It has been well utilized, with people coming from all over the state to enjoy the facility.

The City of Connell received RCO funds for Pioneer Park, the Connell Swimming Pool, and the Pioneer Park Athletic Fields. These projects must be maintained under the Long-Term Grant Responsibilities requirements of RCO.

Striker Park

Located on the west end of West Fir Street, in the neighborhood known as the Striker Addition, this neighborhood park offers a playground, basketball court, volleyball court, public restrooms, numerous shade trees, and a multi-purpose open area. The primary use of Striker Park is the baseball field.

Columbia Park

Columbia Park is located at First Avenue and West Fir Street, and offers a grassy area, half-court basketball, playground equipment, and a swing set. Because of the existence of

a basketball court, the site has changed from being known as a tot lot to now being utilized as a neighborhood park to reflect the expanded opportunities for the area’s residents.

Clark Street Park

Located at the intersection of East Clark Street and North Chelan in the Brentwood area of the City, Clark Street Park is the newest addition to the Connell park system and a very popular spot for many activities, such as birthday parties and lunch breaks. It features a large soccer field with goal and ball return net, a picnic area, half-court basketball, a playground and swings, and public restrooms. The City of Connell received RCO funds for Clark Street Park, and thus the park must be maintained under the Long-Term Grant Responsibilities requirements of RCO.

Community Bike Path- Public Artwork Sculptures

A community bike path runs parallel to US Highway 395 and is almost 1 mile in length. The bike path features public artwork sculptures financed by State funding associated with prison expansion (one-half of one percent of sales tax). The funding provided the opportunity for artwork by world-renowned artists to be installed in the community:

- Wildflower steel sculptures by Nick Lyle & Jean Whitesavage on the walking path
- Wildlife bronze figures by Tom Otterness, installed on tables along Columbia Avenue

Athletic Fields

The North Franklin School District and the City of Connell established a cooperative agreement (interlocal) for recreation and sports facilities in 2002 for the Athletic Fields Project; the District and City entered into an agreement to share in the construction, maintenance, and operation costs of the project. The interlocal agreement will be revisited and updated, as needed, in order to clarify use, maintenance, and cost responsibilities.

PARK CONDITIONS

Most of the City of Connell’s parks and recreation facilities are in good condition overall and are well maintained. The condition of each park and facility has been assessed and compiled into **Table 3**. The table lists the parks within the City of Connell, along with acreage, condition, park type, and RCO funding status.

Table 3. Park Conditions

Facility	Condition	RCO Funding
Heritage Park (1.42-Acre Neighborhood Park)	<ul style="list-style-type: none"> • Good condition overall • Lots of activity • Lack of landscaping on the north side of the park • Lack of seating in general and specifically near the playground • Not enough pavilions for small and/or large gatherings 	
Pioneer Park (12.5-Acre)	<ul style="list-style-type: none"> • Disc golf course is in good condition 	Project #77-024 (Land and Water Conservation)

Facility	Condition	RCO Funding
Community Park)	<ul style="list-style-type: none"> • Basketball court is new and in good condition • Lack of shaded seating • Access road could be improved for better connectivity 	Fund) and #78-057 (State Bonds)
Pool	In need of renovation—see Appendix A for a full assessment of conditions	Project #97-103 (Washington Wildlife and Recreation Program – Local Parks Category)
Pavilion	Good condition	
Athletic Fields	Baseball fields need surface upgrades	Project #04-1355 (Washington Wildlife and Recreation Program – Local Parks Category)
Disc Golf Course	Good condition	
Skate Park	Needs improvements	
Striker Park (3.67-Acre Neighborhood Park)	<ul style="list-style-type: none"> • Volleyball nets are not in good condition and are not used often • Playground equipment is well used, although the surface underneath is not appropriate • Half-court basketball court is well used 	
Columbia Park (0.52-Acre Neighborhood Park)	<ul style="list-style-type: none"> • Park is a popular spot for citizens and out-of-town guests to take lunch breaks • Half-court basketball court is in good condition • Lacks options for activities 	
Clark St. Park (1.67-Acre Neighborhood Park)	<ul style="list-style-type: none"> • The picnic tables, playground, and basketball court are in good condition • The restroom building was built in 1990, but is in good condition • Soccer pitch is not in good condition 	Project #92-335 (Washington Wildlife and Recreation Program – Local Parks Category)
Oasis Village (1.33-Acre Neighborhood Park)	Yet to be developed	
Bike Path	<ul style="list-style-type: none"> • Good condition • Not long enough • Lack of seating for breaks 	

TOTAL CITY-OWNED: 21.11 acres

School Playground/Ballfield: 68.55 (approx.)

TOTAL PARKLAND: 89.66 acres

CAPACITY

Connell has one public swimming pool located at Pioneer Park. The pool is generally open from June to August and provides for open swim, swim team practice, and swimming lessons. Season passes are available for individuals, families, and seniors. On average, from 2014 to 2019, 25 season passes were bought per year, with a high of 67 in 2015 and a low

of one in 2016. In 2017, punch cards became available for \$30 for ten sessions. In 2017, five were sold, and in 2018 and 2019, two were sold.

The amount of daily passes sold, as shown in **Table 5**, has fluctuated over the past six years. Lower annual numbers are attributed to the number of days the pool was open in a given year (**Table 4**). For instance, 2016 had the lowest attendance rate and that year the pool was open for only 37 days, whereas 2014 had the highest attendance rate and was open the most amount of days. Average daily passes per day open ranged from a low of 37 in 2016 to a high of 111 in 2015.

Table 4. Average Daily Pool Use

Year	Days Open	Total Daily Passes for Year	Average Daily Passes Per Day
2014	79	7,234	92
2015	65	7,202	111
2016	31	1,145	37
2017	30	1,714	57
2018	67	4,454	66
2019	55	4,027	73

Pool attendance was highest in 2014 and 2015 with over 7,000 daily passes used. In 2016 and 2017, the numbers dropped significantly into the 1,000 range, rising again with over 4,000 people each year in 2018 and 2019. The majority of people used paid fee daily passes, with those making up approximately 50 percent of the total in 2014, 2015, 2018, and 2019. In 2016 and 2017, over 85 percent of the total were paid fee daily passes with significantly fewer pre-paid passes used those years. The drop in pre-paid passes in 2016 and 2017 is notable, as all other years had over 1,500 pre-paid passes used, whereas 2016 and 2017 only had 46 and 36, respectively.

Table 5. Daily Pool Passes

Year	Paid Fee	Free (ages 0-4)	Pre-Paid Passes	Employee	Total
2014	4,652	643	1,907	32	7,234
2015	3,391	441	3,361	9	7,202
2016	1,019	80	46	0	1,145
2017	1,575	102	36	1	1,714
2018	2,614	293	1,547	0	4,454
2019	2,197	376	1,454	0	4,027

Swim lesson attendance was tracked for both 2014 and 2015 (**Table 6**). The lessons were available in both mornings and evenings in three sessions throughout the summer. Lesson types included Learn to Swim (Levels 1-5), Pre-School (Levels 1-2), and Parent and Child lessons. Each morning and evening session offered one Parent and Child lesson, one or two Pre-School lessons, and three or four Learn to Swim lessons – attributing to the differing attendance count. The highest attendance was for the evening sessions. 2014 saw

steady numbers throughout the summer, while 2015 had low numbers for the second session, which occurred from July 6 through July 16.

Table 6. Swim Lesson Attendance

Year	Total Morning	Total Evening	Total Session #1	Total Session #2	Total Session #3	Total Learn to Swim	Total Pre-School	Total Parent & Child
2014	44	76	45	40	35	72	26	11
2015	32	61	36	19	38	28	26	13

PARK LOCATIONS AND SERVED POPULATIONS

Figure 2 shows a depiction of residences and their proximity to recreational facilities. The locations of residences are based on County Assessor data, and “Single-Family Residential” includes those properties with a primary improvement of a single-family residential structure, a manufactured home, or a duplex. “Multi-Family Residential” includes properties with a primary improvement of a “low rise multiple” structure (there are no other types of multi-family residences in the City). The institutional housing in Connell (incarcerated individuals at the prison) is excluded.

Next, the figure also depicts the parks facilities in the City, as well as the school ballfields and playgrounds and their respective buffers of 1/8 mile and 1/4 mile. The buffers are “as the crow flies” and are intended to provide an approximate depiction of a short or slightly longer walking distance (or biking distance) that would be typically considered acceptable to use for accessing parks. However, street layout and barriers such as railroad crossings would most certainly influence reasonable access.

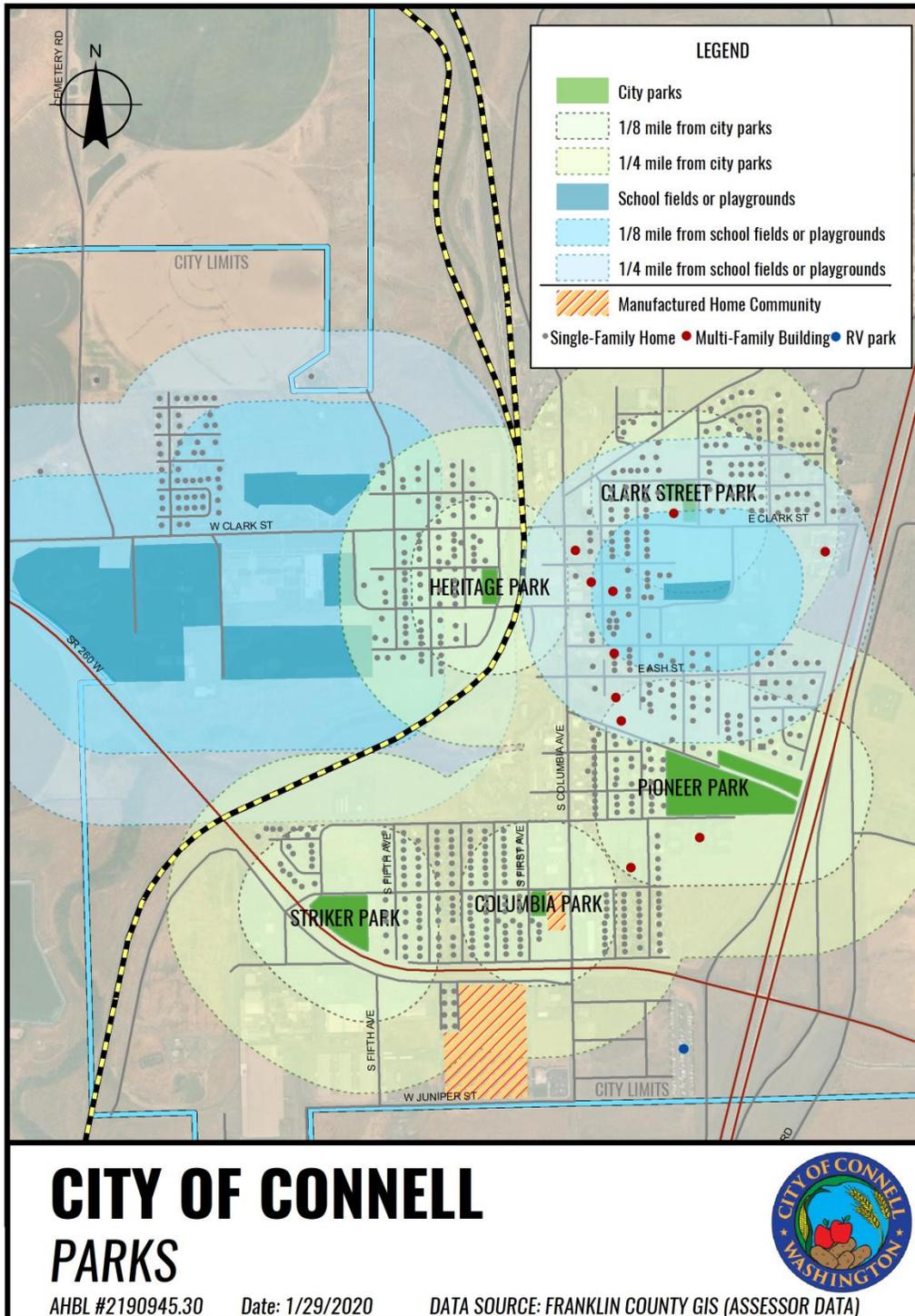
This analysis does not account for the distance of people from parks, but rather illustrates the distance of households (which may vary in size) from parks. This analysis also does not account for the ages of the people included in the households or aforementioned potential barriers.

The percentage of single-family households within 1/8 mile of a City park is 57 percent, and the percentage of those households within 1/4 mile is 88 percent. As for households located within multi-family structures, all (100 percent) are located within 1/4 mile buffer from a City park.

The RV Park (Coyote Run RV Park) is located at the south end of the City and is not within 1/4 mile of any recreational facility. However, the property does feature a pavilion and a recreation room.

In conclusion, there is generally good access to recreational facilities in the City, from a locational perspective. The City has previously identified that a new park should be added to the northwest, near the Oasis development, which makes good sense for ensuring that all City residents have a park near their homes.

Figure 2. Locations of Residences, Parks, and School Fields / Playgrounds



PUBLIC PARTICIPATION

In the past, the Board has held public workshops and hearings on various projects and plans, including assessment of the City's pool and water slides and Parks and Recreation Improvement Projects.



The City continues to use an intensive Public Participation and planning process. Coordination is sought among downtown property owners, merchants, school district officials, students, sports organizations, and community interest groups. Public Participation activities include:

1. **Public Surveys:** Staff designed and distributed a public survey that was available online and on paper beginning January 7, 2020 and concluding January 23, 2020. The survey was designed to determine public opinion in a number of areas, including recreation, trail development, customer characteristics, and other community conditions. Paper copies of the survey were available in English and Spanish. There were 93 participants who responded to the survey; results are incorporated throughout the Plan and an analysis is included in Appendix B.
2. **Public Workshops:** The Board held a Public Workshop on January 7, 2020 in order to solicit input from community organizations and to provide the following:
 - Survey results were evaluated to target appropriate use
 - Visual presentation with photos of parks and amenities
 - Current inventory and assessment of parkland acreage and equipment
 - Management of park facilities and usage
3. **Social Network:** Established open electronic communication with the public. Detailed park information and a link to the Public Survey were posted on the City website, the “What’s going on, Connell?” Facebook page, and the Connell Police Facebook page.
4. **Public Hearing:** Staff compiled the information generated through the survey and public workshop and used it in development of the PROS Plan. A Public Hearing was held by the Board on January 28, 2020. Input from that hearing was considered and the Plan was revised by the Board. An advisory recommendation was sent to the Connell City Council.
5. **Public Hearing:** The City Council held a Hearing on the Plan on February 3, 2020.
6. **Plan Adoption:** The PROS Plan was officially adopted by the City Council on February 3rd, 2020.

Copies of the survey and results are in Appendix B.

CURRENT AND FUTURE COMMUNITY RECREATIONAL NEEDS AND INTERESTS

Connell is the largest community in Franklin County north of Pasco. As a result, and because of the variety of excellent recreation facilities available in the community, City recreational facilities are extremely well used by Connell residents, and also by residents of Mesa, Kahlotus, Basin City, and Pasco. In addition, many Franklin County residents utilize the City's recreation facilities, especially the swimming pool, ballfields, and soccer fields.

The City houses the North Franklin School District, which covers an area west to the Columbia River, east to the Snake River, south to Eltopia, and north beyond the County line, including parts of Adams County. Connell is considered the primary meeting place for children and young adults who live in the north portions of Franklin County, as well as in Connell, Basin City, Mesa, and Kahlotus.

Though the median age (32.5 years) has increased somewhat over the last few years, Connell still has a significantly lower median age than the State (37.3 years). It is important to keep in mind the needs of a relatively younger population in planning for the future of Connell's parks and recreation facilities and programs.

A question included in the public survey asked how the City should focus its recreation and program efforts and funding. The trend in responses is to give more focus to youth and teen programs, and less focus on senior, adult, and other programs. Two survey respondents suggested there be more activities for preschool-age children, such as mini baseball or junior soccer.

The public survey respondents indicated that, although the focus of activities may need to shift, the number of Connell's park facilities is meeting the needs of the community. When asked in the public survey how the City should focus its park facilities efforts and funding, over 40 percent of respondents stated that the most focus should be placed on upgrading, maintaining, and adding amenities to existing parks (such as shelters and grills). Between 49 and 55 percent of respondents said that the least amount of focus should be placed on acquiring more land for, and developing new parks.

City-sponsored activities include Swim Team, T-Ball, Little League, basketball, track and field, Disc Golf, and soccer. These events attract participants from Connell and the surrounding area, extending to Othello and Tri-Cities, and are coached by volunteers. The public survey responses and comments confirm that Swim Team and other pool activities are in demand; 65 percent of survey participants indicate they participate in aquatics and pool activities including Open Swim, Swim Team, and swim lessons. One respondent commented, "The pool is the most important part of our parks, it needs to be replaced so please do what you have to do to keep it open for our students."

Leisure activities such as walking, hiking, and relaxing were the second most common uses of the City's parks, according to the responses to the public survey. Comments were made in the survey and at the public workshop regarding the existing bike/pedestrian trail.

Suggestions for improving the Trail include making it longer and providing amenities along the Trail for breaks and conversations; like benches and water fountains.

According to comments received at the Board’s public workshop on January 7, 2020, the public would like to see the following improvements:

- More seating at Heritage Park;
- An additional large pavilion and a smaller pavilion placed in Heritage Park;
- Security lighting at the Skate Park within Pioneer Park;
- Potential addition of Junior soccer goals to Striker Park;
- The addition of an off-leash dog area (Dog Park) , possibly in Striker Park;
- Consideration of moving one volleyball court from Striker Park (where it is not used often) to Columbia Park (which needs more activities);
- An extension of the bike path to the north and from east to west to downtown;
- Consideration of the addition of seating and water fountains to the bike path; and
- The addition of an outdoor fitness park.

MAINTENANCE

The City is proud of all the parks and recreation opportunities available to its citizens, but also recognizes that such amenities come at a cost. **Table 7** provides an overview of the maintenance activities required in order to open, and keep open, the City’s parks and recreation facilities.

Table 7. Required Maintenance Schedule

Maintenance Activity	Timing (Yearly)	Estimated Time to Complete	Number of Employees Needed
Open restrooms for season	April 1 st	1 day	1
Close restrooms for season	End of October	1 day	1
Mow park grasses	April –October	Once per week, per park	1
Blow out irrigation water lines	November	3 days	2
Daily restroom checks	April-October	Once per week, per park	1 (1 hour)
Spray weeds	May and July	4 days each month	1
Fertilize grass	As needed	1 day	1
Open pool	Last week of May	4 days	3
Check pool water	June-August	Every day-30 minutes	1
Close pool	End of August	3 days	1

The Public Survey (results included in Appendix B) asked the question, “How would you rate the quality and maintenance of the City’s park facilities?” A small number of respondents, approximately 10 percent, said that park facilities need major improvements; over 48 percent said they believe the parks are somewhat well maintained; and 21.7 percent said they see the parks as very well maintained. Many of the City’s parks are in need of renovations and upgrades; however, there is a need to reduce the costs of maintenance and

upkeep of the park system in order to ensure its continued presence. Some ideas for decreased costs include:

- Replacement of grass under play structures with a material that is safe for children and does not require mowing and frequent maintenance,
- Consideration of xeriscaping rather than lawn in appropriate locations to reduce the need for mowing and irrigation, and
- Gradual replacement of some trees in parks, with more appropriate tree species selected for each site in order to reduce issues with roots and extensive pruning.

INCREASED ADA ACCESSIBILITY

The Public Survey asked participants how accessible they find Connell’s Parks and Recreation facilities in general, and 65.22 percent responded that they are very accessible while 28.26 percent chose “somewhat accessible” as their answer.

There is a desire in Connell for increased Americans with Disabilities Act (ADA) accessibility at each park. Specifically, a study of the existing conditions at Connell Pioneer Park Swimming Pool was conducted by ALSC Architects and presented to the City of Connell in September of 2019 (Appendix A). The study revealed that there may not be an accessible path from the signed ADA parking stalls in the main parking area to the Swimming Pool facility, and the pool entry should be made accessible.

NEW FACILITIES

Dog Parks

It is estimated that over 43 million American households contain at least one dog. According to the public surveys and input gathered at the public workshop on January 7, 2020, the citizens of Connell want a place to allow dogs to socialize and play off-leash (see Appendix B for detailed information). Feedback from City of Connell staff and citizens indicates that Striker Park is underutilized and would better serve the community as a place designated for dogs, with appropriate fencing and ground surfacing.

Outdoor Fitness Park

Twenty-nine percent of adults in Washington were considered obese in 2016, according to the Washington Department of Health¹. For those who wish to increase activity levels and improve fitness, the City offers some exercise programs such as Zumba when staffing is available. The City would like to expand fitness activity programs, as budget allows.

There is interest in Connell for the addition of an outdoor fitness park, possibly in conjunction with the bike path, located within an existing park, or possibly located near the Electric Vehicle Charging station. An outdoor exercise area would require equipment and signage (to illustrate suggested exercises); however, given the self-driven nature of an outdoor exercise area, a fitness instructor would not be needed.

¹ <https://www.doh.wa.gov/DataandStatisticalReports>

Splash Park

As noted, the average summer temperatures in Connell and the surrounding area are typically in the 80s and 90s, and a lot of children live in, and visit, North Franklin County. With the removal of the slides from the Connell City Pool, the availability of summer water activities will be reduced. There were many suggestions for a splash park received at the Public Workshop and in the comments section of the Public Survey. A splash park facility could meet the needs and demands of the community, as well as provide a more affordable, and perhaps safer, option for water play.

Visitor's Center

The City has regular daily visitors. It is probable that travelers along adjacent US Highway 395 stop for a break in Connell's parks. City staff have observed many people from out of town enjoying a picnic lunch in the City's parks. A Visitor Center with information about the City would help visitors learn more about the community and possibly invite a longer stay, while patronizing not only the parks, but also local businesses and restaurants. The existing City-owned building at Columbia and Fir is a prime location for a Visitor Center. The City is currently working with the Port of Pasco to help fund a remodel of the existing building.

Trails

The State Bike and Walking Path that was discussed in the 1994 Plan (and above in the Existing Parks section) has been completed and receives a fair amount of use. The trail is approximately 1 mile in length, is paved, and is well maintained. There is a desire to extend the path to the north and provide more connectivity to the downtown.

The City has access to a strip of property that at one time was a railroad right-of-way. A portion of that has been donated to the community. The remainder still belongs to the railroad. The City has contacted the railroad to determine what the cost would be to purchase the remaining road bed. Purchase of that could provide the City with space to install a path connecting the State trails, Pioneer Park, Heritage Park, and the downtown.

Public artwork along the walking path by the highway has increased trail use, together with new artwork along Columbia Avenue, for increased pedestrian activity.

OPEN SPACE

The Washington State Growth Management Act (GMA) requires the City to encourage the retention of open space and the development of recreational opportunities. Open space areas and corridors are valuable to the community because they separate incompatible land uses; provide corridors in urban areas; protect stream and water courses; provide refuge for wildlife; provide linkage between schools, parks, and major areas of public activity; buffer major roadways; provide aesthetic relief from developed areas; and preserve the natural character of the area.

There are currently no designated open spaces in the City, although there are many undeveloped parcels owned by the City of Connell that, because of circumstances or

location, are not suited for many uses. A future assessment of these parcels could result in designated open space.

LEVEL OF SERVICE

Adequacy of Parkland to meet existing and future demand.

The City owns 21.11 acres of parkland and enjoys a joint-use agreement with the North Franklin School District (NFSD), which brings the total amount of parkland available to the public to 89.66 acres. Based on 2,990 local residents, this means there are approximately 29.99 acres of parkland (including NFSD play fields), per 1,000 people in the City.

The national standard for the Level of Service (LOS) for parks and open space in a city currently is 10 acres per 1,000 persons. With the NFSD fields, the City is exceeding the LOS standard, allowing the focus to shift to enhancing quality parks, while requiring new development to provide its own recreational space consistent with the LOS of 10 acres of parkland per 1,000 residents. (This does not include residents who are institutionalized persons at the Coyote Ridge Corrections Facility.)

The standard of 10 acres per 1,000 persons may be divided between a variety of types of parks. The City’s parks can be categorized as neighborhood parks and community parks. The distinction between the two categories relates to the distance people travel in order to reach a park and the area served by the park. A neighborhood park is typically smaller than a community park and includes those parks with a service area of a reasonable walking distance less than or equal to 1 mile. A community park typically has a service area that includes all land within the city limits. **Table 8** lists the standards for each type of park in Connell, based on City-owned parklands.

Table 8. Level of Service Standards

Park Type	Recommended LOS Standard
Neighborhood Park	3 acres per 1,000 pop.
Community Park	6 acres per 1,000 pop.

Table 9 lists the amount of land devoted to each type of park, the current amount of land provided per 1,000 residents based on the current estimated population and any surplus or need for additional parkland.

Table 9. Recreational Land Needs – Based on the 2019 population estimate from OFM

Park Type	Total Acreage	Acres per 1,000 People*	Current Parkland Surplus/ Need Acres based on Service Standards
Neighborhood Park	10.85	3.63	0.63
Community Park	12.5	4.2	-1.8

**Based on 2,990 residents (does not include the incarcerated population)*

Although the City is exceeding the national LOS standard of 10 acres of parkland per 1,000 residents, when the NFSD land is included, the table illustrates that the distribution of city-owned parklands is not balanced to meet the recommended standard LOS for each park type. There is a surplus of neighborhood parks and a deficit of community Parks.

Table 10 illustrates the amount of land that needs to be acquired in order to meet LOS standards for the projected 2038 population

Table 10. Recreational Land Needs – 2038

Medium population projection for 2038: 9,173 - 2,648 prison = **6,525** local park user population.

Park Type	Total Acreage	Acres per 1,000 People*	Current Parkland Surplus/ Need Acres based on Service Standards
Neighborhood Park	10.85	1.66	-1.33
Community Park	12.5	1.9	-4.1

**Based on 6,525 residents (does not include the incarcerated population)*

Connell is expected to continue to grow at a rate equal to or slightly above that of the surrounding County. Because of this growth, Connell will need to explore ways to add to parklands in order to meet the adopted level of service standards.

GOALS AND OBJECTIVES

The long-range City policy is to provide a variety of local recreational facilities for the City’s residents within funding constraints. The primary goals and objectives of the Board are to recommend improvements to established park facilities to meet current codes, safety standards, laws, and needs of the community. Once these goals and objectives are met, there are goals and objectives for additional recreational activities to be considered.

GOALS

1. Preservation and replacement of existing facilities and enhancement of parkland.
2. Acquire new parkland as community growth warrants for optimal service to citizens.
3. Make all parks more accessible and increase compliance with ADA accessibility standards.
4. Continue to create and maintain partnerships with North Franklin School District, community organizations, and Franklin County on sports and general recreation activities and amenities.

5. The City will seek to fund the Parks and Recreation Capital Improvement Plan through grant opportunities, impact fees, local taxes, and donations.

OBJECTIVES

1. To maintain or replace the following equipment:
 - Playground Equipment – Add additional equipment to enhance play areas and maintain equipment already in place.
 - Sports Equipment – Upgrade and maintain basketball courts, ballfields, soccer fields, and skate park.
 - General maintenance of equipment

2. Plan for and perform facility renovations:
 - Pool –
 - Decking and sidewalk improvements
 - Improve grassy seating area adjacent to pool to comply with State Code
 - Replace plaster surface and paint interior surfaces of main pool
 - Create ADA compliant pool access
 - Create shaded area
 - Remove slides
 - Pool House and Mechanical Building –
 - Provide exterior upgrades ranging from minor patching and caulking to consideration of a complete rebuild
 - Create family changing rooms
 - Update and/or replace interior surfaces and fixtures in restrooms such as countertops, sinks, and partitions
 - Perform upgrades to mechanical and electrical systems to increase performance and meet current codes
 - Provide improvements to meet ADA compliance
 - Upgrade restroom fixtures and structures at all City parks
 - Replace shelters and add cement pads to picnic shelters at all City parks
 - Purchase additional equipment and/or improve existing equipment for the skate park
 - Provide a drinking fountain for visitors of the skate park and provide access to a spigot or water source for cleaning equipment and surfaces
 - Pavilion upgrades

3. Build picnic shelters in the following City parks:
 - Columbia Park
 - Clark Park
 - Heritage Park

4. Build a water spray facility (splash park) in Pioneer Park
5. Create a Dog Park, potentially located within Striker Park
6. Complete the following projects at the Community Center:
 - Parking lot replacement (scheduled to begin in 2020)
 - Interior renovations
 - Exterior renovations
 - Roof replacement
 - Consider renovations to the interior or exterior of the building to maximize use of the interior spaces
7. Create an Outdoor Fitness Park and/or add appropriate exercise equipment to an existing park or trail
8. Develop a neighborhood park near the Oasis neighborhood
9. Create a Visitor Center at Columbia and Fir

CAPITAL IMPROVEMENT PLAN

Implementation of this Plan will be timed according to, and dependent on availability of funds. The Board (with public support as indicated by responses at the Public Workshop on January 7, 2020 and within the Public Survey) has prioritized maintenance, improvements, and additional equipment to existing parks and recreation facilities. Once these commitments are met, there are additional recreational activities to be considered as funding becomes available.

Community facilities projects identified during the next ten years are listed in **Table 11** with estimated costs. Projects are not listed in order of importance or timing.

Table 11. Community Facilities Capital Improvement Plan

Project Name	Funding Source	Estimated Cost	Target Year of Completion
Community Center – Heating/Cooling System	Civic Facility Reserve Fund	\$50,000	2023
Community Center – New Roof	Civic Facility Reserve Fund	\$20,000	2022
Community Center – Parking Lot Reconstruction	Civic Facility Reserve Fund	\$250,000	2020
Mini Pavilion – Clark Park	Parks & Recreation Reserve Account	\$7,000	2025
Oasis Neighborhood Park	Impact fees on new development	\$100,000	Timing is dependent on completion of Phase II of the Oasis neighborhood
Outdoor Fitness Park	Community/Grant	\$100,000	2025
Pioneer Baseball Field Portable Benches (4)	Parks and Recreation Reserve Account	\$6,000	2025
Pioneer Basketball Court Player Benches (2)	Parks and Recreation Reserve Account	\$1,500	2025
Playground Equipment	Parks and Recreation Reserve Account	\$16,000 per unit as needed	2023
Skate Park	Parks & Recreation Reserve Account	\$10,000	2025
Splash Park	WWRP Recreation and Land & Water Conservation Fund	\$200,000	2021
Swimming Pool	WWRP Recreation and Land & Water Conservation Fund	See Appendix A for cost list	2021
Video Surveillance Equipment – Parks		\$20,000	2020

APPENDIX A

Aquatics Assessment Report

City of Connell Parks, Recreation, and Open Space Plan (2020)



City of Connell Aquatics Assessment Report

SEPTEMBER 2019





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1. Introduction

The City of Connell contracted with ALSC Architects P.S., Coffman Engineers and Water Technology Incorporated (The Design Team) to perform a visual assessment of the conditions of the Connell Pioneer Park Swimming Pool (CPSP) at 314 East Birch Street in Connell, Washington. A building walk-through and meeting with City Council and Staff, Parks & Recreation Committee and Stakeholders was conducted on 19 July 2019.

The intent of this assessment is to evaluate the existing construction, structural and mechanical/electrical systems at the facility and provide general comments regarding their current condition. The intent is to provide City Council and Parks & Recreation Department with summary information to provide guidance on future investments in the facility.

The facility visited at 314 East Birch Street in Connell, Washington, consists of an 'L' shaped lap pool, wading pool with zero depth entry, two-flume waterslide complex, grass seating area, men's and women's locker rooms, lifeguard and ticketing building with mechanical pump and chemical storage building. Directly adjacent to the recreation lap pool, located outside of the fenced-in aquatics area, are aluminum bleachers and a public pavilion.

This condition assessment is based on visual review of readily accessible areas only and discussions with City Staff. Existing drawings for the pool renovation dated January 21, 1997, and flume slides dated May 21, 2007,

were provided. No drawings for the original recreation lap pool or building structures were provided. Finishes were not removed to view the condition or existence of any elements not readily visible. Calculations were not performed as part of this assessment.

The Design Team has endeavored to identify problems with the means of access and potential non-compliance with the Americans with Disabilities Act (ADA). Observations and evaluations included in this report do not constitute certification or verification of compliance with ADA requirements. ADA compliance is a legal opinion, and the Design Team is not able to anticipate or guarantee judicial interpretation with respect to a facility's legal compliance. Recommendations for ADA compliance are based on a current understanding of the technical requirements of ADA regulations for site, building and aquatic elements.

Compliance with Virginia Graeme Baker Pool and Spa Safety Act (VGBA) regulations has not been verified or investigated as a part of this evaluation and report. Any statements regarding drains, suction fittings, or any other component pertaining to VGBA are preliminary observations only, and further inspection to substantiate compliance is necessary.

For purposes of this report, the facility is broken up into four (4) areas: site, aquatic amenities, aquatics building, and mechanical building.



2. Site

The primary access to the CPSP is from the Birch Street frontage on the north side of the pool facility. At the time of assessment, road work was occurring on Birch Street consisting of resurfacing the roadway from Columbia Avenue to the paved parking area northeast of the pool facility (main parking area for Pioneer Park). The curb and sidewalk along the Birch Street frontage appears to remain as-is through the road improvements, although the scope of the upgrades is unknown. The existing curb and sidewalk appear recently replaced and are in generally good condition, with grades meeting ADA standards and two curb ramps with tactile warning providing access to the sidewalk from the future roadway surface. The main Pioneer Park parking lot to the northeast of the pool facility was not included in this assessment. However, it appears the parking area contains striped and signed ADA parking stalls. These ADA stalls do not provide an accessible pathway to the pool facility, as cross slopes appear to exceed ADA standards and there is not a striped walkway across Birch Street.

Recommendation No. 01: *Incorporation of ADA parking stalls be explored at the perpendicular parking along the Birch Street frontage in coordination with the roadway improvements.*

The hard surface areas from the Birch Street right-of-way to the pool facility entrances appear to be in adequate to good condition. Grades appear to be compliant with ADA standards, with asphalt and concrete surfaces having minor cracking consistent with their age. Sealing surface cracks would help extend the life of the hardscape surfaces.

Site fences all look to be straight, operational, good finishes and in overall good condition; with exception at the north exterior side of the open pit surge tank. A portion of the fence/gate has barb-wire, with non-secured fencing not readily controlling access to an open surge tank structure.



Recommendation No. 02: *The barb-wire should be removed and fence fabric be securely attached to the existing post.*

The pool facility is connected to a City of Connell sanitary sewer main at a manhole in Birch Street via gravity flow. The connection at the manhole appears adequate, and no concerns or backup issues were raised by maintenance staff. Water is served to the pool facility via connection to a water main running north-south through Pioneer Park. A water meter vault is located just east of the Pioneer Park restroom building. Maintenance staff did not raise any concerns with the facility water pressure or service. A backflow preventer was unable to be located on-site.

Recommendation No. 03: *It is recommended that the city staff confirm the facility meets current backflow standards per WAC 246-290-490.*

The nearest observed fire hydrant was located northwest of the facility at the intersection of East Birch Street and South Chelan Avenue. This appears to place the existing buildings with the code required access to a fire department hydrant.



3. Aquatic Amenities

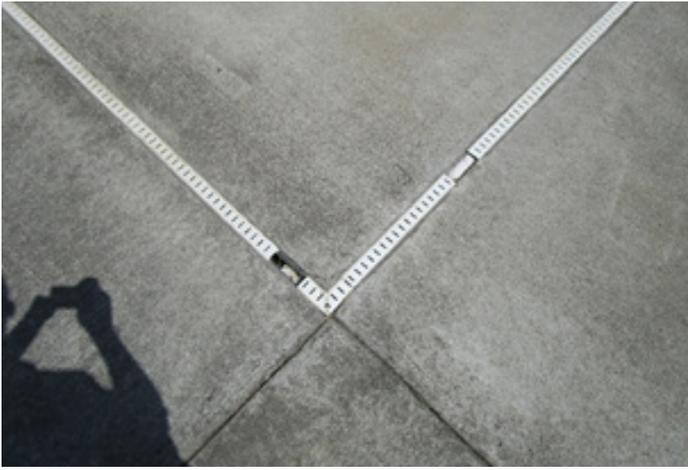
The aquatic amenities function as a stand-alone outdoor aquatic facility located within a municipal park. The facility holds an “L-shaped” lap pool, wading pool with zero depth entry, and two-flume waterslide complex. The lap pool has 5 lap lanes and stairs on the shallow end of the pool leading into a water depth of 2’-6”. The lap pool gradually slopes to a maximum depth of 6’-0”. The lap pool was originally constructed with a deeper maximum depth, but was renovated to the current, shallower 6’-0” maximum depth. The wading pool is separated from the lap pool by a chain-link barrier fence. The wading pool has a zero-depth entry and a single spray feature. The waterslide complex holds two body flume slides, both terminating in runouts. The slide tower is painted steel. One slide is an enclosed serpentine slide, the other is an open speed slide.

The concrete pool deck appears in good shape with very minimal spalling and no signs of significant cracking or differential settlement.



Recommendation No. 04: *The few cracks present in the deck should be repaired with epoxy injection.*

Concrete sloped to interior trench drains with longitudinal grades ranging from 1.5% - 2.5% and transverse cross slope typically less than 1%. There were no signs of visible drainage issues or drainage concerns raised by maintenance staff. There were some areas where the slab appeared to have settled. This could indicate water is affecting the soils under the slab, possibly from leaks in the pool or under slab piping. Sealant (caulk) joints between concrete slab pours are beginning to fail in locations. Along with gaps greater than ¼” in the deck drain covers

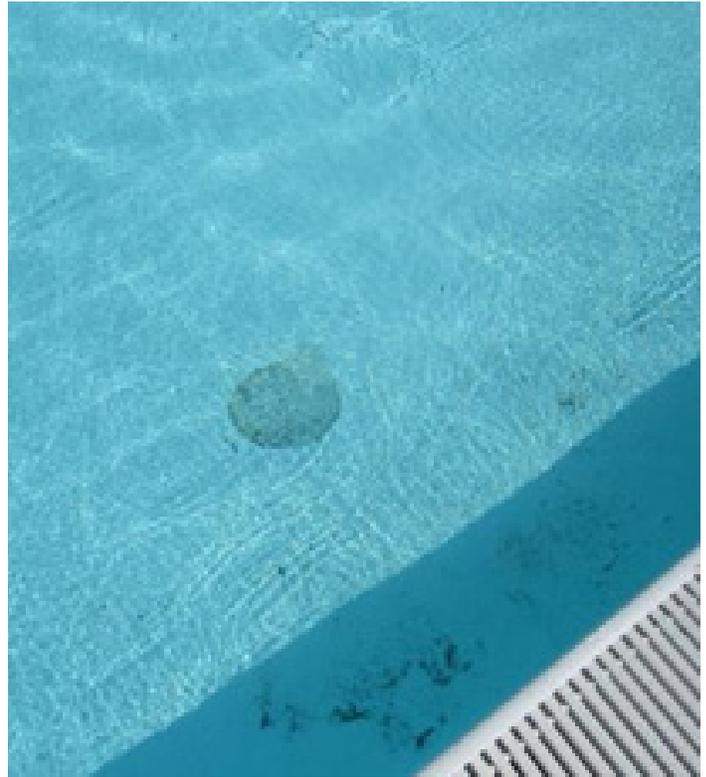


Recommendation No. 05: *The existing sealant joints should be removed and sidewalk surfaces prepared for new sealant installation. New deck drain covers installed to provide tight joints (less than 1/8" recommended).*

A grass seating area is currently provided within the fenced aquatics area. This grass area is not allowed inside the pool enclosure per WAC 246-260-041, unless the area is separated to prevent direct access to the pool and the facility provides a method for cleansing bathers' feet prior to entering the pool and deck area. It was noted by City Staff that the grass seating area becomes muddy from sprinklers, rainfall and from bathers' use.



Recommendation No. 06: *Remove seats, tables and sunshade from this area to bring it in compliance with State code. If seating needs can't be achieved on existing north pool deck areas. The current grass seating area could be regraded, and have a concrete deck installed meeting current code requirements. Would recommend that a new trench drain be provided between the existing pool deck and any new concrete surfacing.*

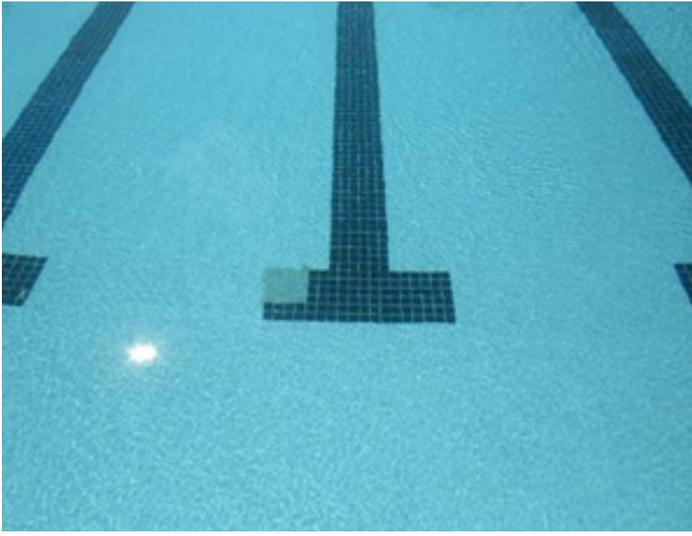
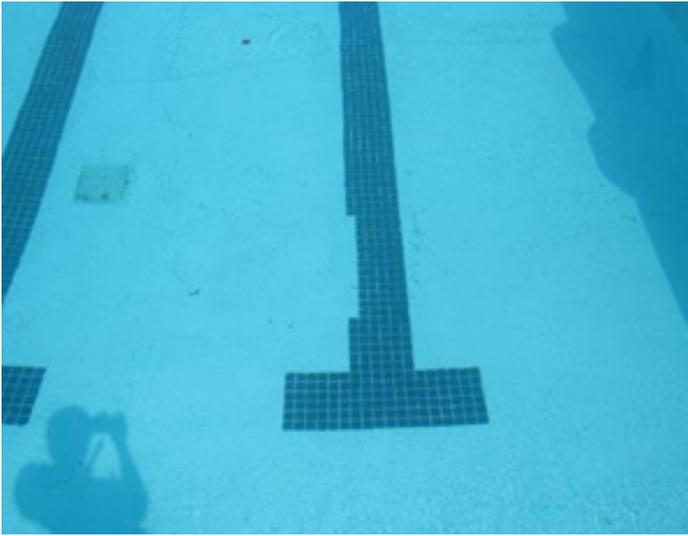


LAP POOL

The lap pool is a concrete vessel with perimeter overflow gutters. The gutters are covered with PVC grating and have a PVC handhold at the pool edge. The pool interior finish is an aggregate plaster with tile accents and borders. The lane line markings and water surface line are tile. Due to the poor condition of the plaster, much of the pool floor has been painted. However, painting the plaster does not prevent the continued disintegration of the plaster. Areas of the plaster are cracking and delaminating. Also, in several areas, such as the lane line markings, tile has loosened and detached from the surface of the pool.

Recommendation No. 07: *The existing plaster/paint pool finish should be removed, and a new quartz aggregate plaster finish should be installed. This is an immediate need for the operation and safety of the pool.*





There is strong evidence of a significant leak in the lap pool system. While cracking is visible in the pool finish, the leak is likely caused by a broken underground pipe. Staff reports a water loss of approximately 3 inches of water elevation per day. The result is a failure of the pool to ever achieve proper rim flow, as the surface of the water never spills over the edge of the gutter and into the gutter trench.

The function of perimeter overflow gutters is one of the most important aspects of pool design. Gutters are intended to skim only the very top of the pool water from the rest of the pool. Most of the contamination and unwanted material in a pool, such as body oils, greases and bacteria, reside at the surface of the water. Continuously removing this part of the water and sending it to the filtration and water treatment systems is crucial to maintaining a clean and healthy pool. Without functioning rim flow into the gutters, this contamination is not removed at an appropriate rate and the circulation of the pool is inadequate.

Recommendation No. 08: *A leak detection test should be performed to positively identify the location/source of the pool water leak. Repairs to the cause of the leak, whether cracks in the pool vessel or broken pool piping, should allow the pool to operate at the intended water level.*

The lap pool holds a medium sized open flume body slide. The slide terminates in a plunge area in the deep end of the lap pool. The slide is weathered and worn. The slide tower and stairs have chipping and peeling paint, and there is rust and corrosion on the tower structure. Furthermore, the fiberglass flume is worn and abrasive to the touch, and the end of the flume is extremely deteriorated.





Recommendation No. 09: *The waterslide should be refurbished to maintain the longevity of its lifespan and safety of the riders. The slide flume should be repaired and re-gelcoated.*

In the shallow area of the pool there is also a small toddler slide. This slide is badly deteriorated, the finish is worn, and there are broken areas with sharp edges and rust. The bottom of the slide protrudes into the pool, and the water supply holes loops up to the slide from the pool wall. The bottom of the slide is a safety hazard and potential cause of entrapment and entanglement.

Recommendation No. 10: *The toddler slide should be removed. A new slide, without a protruding flume or exposed supply hose, should be installed.*

The depth markings on the pool deck are stenciled paint on concrete. Over time the paint has worn, and the visibility of the markings diminished.



The depth markers on the vertical surfaces of the pool wall are installed directly below the pool coping/ handhold. Part of the coping is covering the lettering/ numbering of the markers and restricting their legibility.



Recommendation No. 11: *Tile depth markers should be installed in place of the painted makers on the pool deck. Depth markers on the pool walls should be installed far enough below the coping to avoid blocking their visibility.*

Most railings and metal components in and around the pool are rusting and corroded. The corrosion is significant and will only continue as the metal is exposed to water and weather.



Recommendation No. 12: *The stainless-steel handrails and stanchion posts should be replaced. Rusted and corroded anchors should also be replaced with new anchors set into the pool deck.*

While the lap pool has pool ladders and a wide stair entry, there is no means of ADA compliant access. A primary means of ADA access is required on all public pools. A chairlift or ramp entry would qualify as a compliant primary means of ADA access for this pool.

Recommendation No. 13: *An ADA compliant chairlift should be installed on the pool deck to provide access to the pool.*



WADING POOL

The wading pool is a concrete vessel with a single skimmer for surface water removal. Coping blocks/ stones form the pool edge. The pool interior finish is an aggregate with tiled water line. The plaster is in poor condition, with areas cracking and de-laminating. Similarly, the pool coping stones are badly worn and broken.



Recommendation No. 14: *The existing plaster pool finish should be removed, and a new quartz aggregate plaster finish should be installed. This is an immediate need for the operation and safety of the pool.*

Recommendation No. 15: *The coping stone should be removed, and a new pool coping/edge installed.*

There are no depth markings on the deck or pool walls surrounding the wading pool. Depth markings are required by code and help to improve safety through informing users of water depths and “No Diving” requirements.



Recommendation No. 17: *Drain the wading pool water until the water surface returns to the desired level and monitor daily.*

The main drain covers are small, circular grates which do not appear to be VGBA compliant.

Recommendation No. 18: *The main drains should be verified or VGBA compliance. If existing drains are compliant, the facility should have records of documentation from a Professional Engineer certifying the drains and covers are compliant. Maintaining these records is part of the VGBA requirements.*

Recommendation No. 16: *Tile depth markers should be installed on the pool deck and pool walls at the water line.*



The wading pool is overfilled, and the water level is above the intended water level. The water level is well above the tile band along the zero-depth entry and almost touches the coping stones along the pool walls. This high level of water floods the skimmer opening and reduces the skimming ability of system.



WATERSLIDE COMPLEX

The waterslide complex includes two body slides with runouts. The slide tower is approximately 30 feet in height and has a metal roof for shade. The enclosed serpentine slide (red) appears to be constructed using polyethylene. The open speed slide (yellow) is constructed using fiberglass.

The tower has four columns with cross bracing. When standing on the platform at the top of the tower, significant movement in the tower is evident. A user's movement is even capable of causing the tower to move and sway. A slide tower of this size should have no discernable movement due to wind, environmental elements, or particularly the weight or movement of users.



Recommendation No. 19: *The slide tower should be inspected by a certified slide inspector or structural engineer. The tower should be closed from further use until this inspection can be completed and the safety of the tower can be validated.*

The red serpentine slide is made from polyethylene. This is a slide flume material more common on smaller slides. The flume is warped, deformed and bending in several locations. In addition, the interior of the flume is scratched in places with sharp "burs" and edges on the riding surface and able to cut and hurt riders.

Furthermore, the slide flume sections are joined together in an overlapping joint. These connected sections are held together by a compression band with bolts. This flume material and type of section joints are subject to movement and warping in the slide flume. Several of these joints are showing compromised positioning, missing bolts, joint gaps, and water leakage. This slide flume is unsafe and may injure riders.





Recommendation No. 21: *The yellow speed slide should be inspected by a certified slide inspector or structural engineer prior to any refurbishment of the finish.*

The finish of both slides is worn and deteriorated, particularly on the runout terminations. Worn slide surfaces can become abrasive and injure users if left unaddressed. The red serpentine slide is also very faded from sun exposure.

Recommendation No. 20: *The red serpentine slide should be closed and decommissioned. A new, fiberglass slide with flanged joints or other water feature should be installed as a replacement. If the slide support structure is to be re-used to support the new slide flume, the support should be first inspected by a certified slide inspector or structural engineer.*

The yellow speed slide has some joints with larger or uneven gaps; possibly an indication of movement.



Recommendation No. 22: *The yellow speed slide flume and runout should be refurbished to apply a new finish coat, provided the slide is to remain in use after inspections indicated in the prior Recommendations. With the previous recommendation to replace the red serpentine slide, no action is needed regarding its finish condition, provided the slide is closed to further use.*





4. Building Exterior

The exterior walls of the facility’s two buildings consist largely of paint wood cladding and un-painted CMU (concrete masonry units) screen walls at the main entry, fiberglass skylight monitors, vinyl windows, hollow metal doors and recently installed asphaltic roof shingles. Sealant (caulk) is in adequate condition with attention needed at select locations. Both buildings appear to have performed satisfactorily to date. There were no signs of significant structural damage or deterioration. Some water staining was observed in both buildings. Long term exposure to moisture will reduce the life expectancy of the wood framing and concrete slabs and curbs. The buildings do not have mechanical heating or air conditioning. This is a seasonal facility that is winterized outside of the summer months. Both buildings are naturally ventilated through openings in upper wall and roof line.

A natural gas meter is located at the north side of the locker building. Piping enters the building underground and feeds the boilers and water heaters.

The existing aquatic exterior construction consist of wood framed bearing walls, posts and beams, manufactured trusses and sawn lumber joists, with painted OSB wood cladding on concrete foundations. The foundations have some minor cracking and spalling of concrete. There are signs of water damage at door jambs. Standing water appears to be from wash down operations.

Recommendation No. 23: *Areas of spalling concrete should be cleaned free of loose concrete, rust and patched.*

Recommendation No. 24: *Replace the wood jamb with new jamb held off grade and new sealant joint provided to seal the joint. Maintenance procedures should be updated to have staff squeegee standing water to drains following wash-down operations.*



The cladding appears to be in adequate condition with minor imperfections consistent with use and age of the facility. CMU block divider walls at the locker room entry appear to be in good condition. Sealant at the transition between CMU and wood cladding is separating due to differential movement of the two walls.

Recommendation No. 25: *The existing sealant should be removed and re-sealed to maintain the weather tightness of the joints.*



The aquatics roof has been replaced within the last two (2) years according to City Staff, and appears to be in excellent conditions. The new roof installation did not include installation of gutters.

Recommendation No. 26: *The incorporation of gutters along pool deck will reduce rainwater flow to the pool tank. Gutters will provide a means to direct water away from the building perimeter.*

There is an area on the pool deck outside the women's locker room where the roof line measures approx. 6'-7" above the walk surface. This height is not in compliance with current code and represents a safety issue to users of the facility.

Recommendation No. 27: *The roof line be altered raising the bottom of the roof structure to code minimum or add a permanent landscape element below the roof projection to prevent people from walking under the low roof projection. Incorporation of a landscape element should be coordinated with ADA maneuverability clearances.*



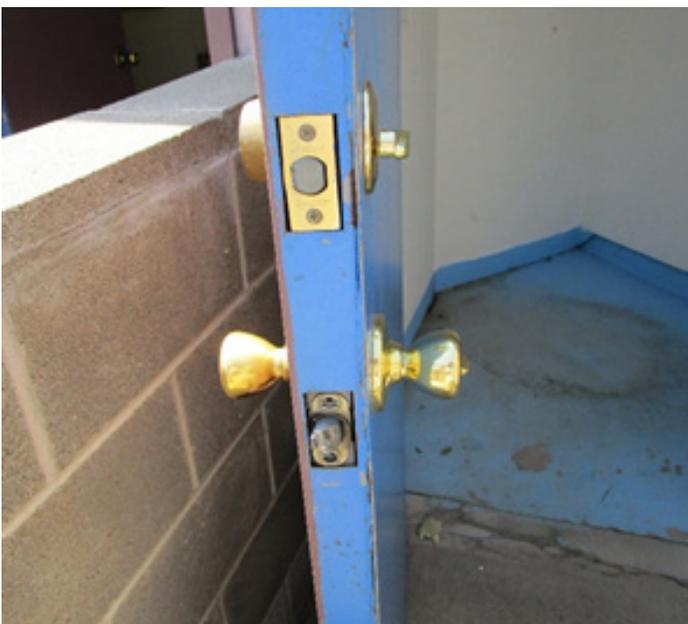
The Aquatics building roof has a light monitor (skylight) which appears to be of fiberglass construction serving the men's and women's locker rooms. The surface of the fiberglass is yellowing and staining, which is typical for its age.

Recommendation No. 28: *Replacement of the light monitor material be included in future facility upgrades.*



Vinyl windows at the aquatics facility appear to be in good working order. The hollow metal doors for the aquatics building are at varying levels of serviceability and repair with missing hardware, surface corrosion and damage from use and replacement of hardware.

Recommendation No. 29: *In the near term replace missing hardware and refinish doors and frames. Schedule future replacement of all facility doors, frames and hardware.*





The existing mechanical building exterior walls consist of wood framed structure with painted OSB wood cladding on concrete slabs. The cladding appears to be in adequate condition, with minor imperfections due to proximity to grade, renovations and alterations of mechanical equipment through walls. Cladding in direct contact with ground surfaces are starting to show signs of water damage.

Recommendation No. 30: *Revise the termination of wood cladding to be raised up from the ground surface, thus decreasing moisture migration to the cladding from the concrete slab. Installation of gutters on the building would also decrease the presence of water along the perimeter of the building.*

The east wall of the mechanical building will likely not meet current codes due to the long openings in the sheathing. The header over the southern double door in the east wall does not meet current code.

Recommendation No. 31: *The east wall should be evaluated in more depth for resistance to lateral forces, along with upgrades to header over the southern door.*

The chemical room has a small wall mounted propeller fan plugged into an electrical receptacle. This fan was running during our assessment, but it is noted that the fan could be unplugged inadvertently.

Recommendation No. 32: *The wall mounted propeller fan be hard wired to a switch and tied into a future central building automation system.*

Alterations over the life of the buildings have resulted in unsealed openings in the cladding.

Recommendation No. 33: *Openings be closed off to prevent rodents from gaining access to the maintenance buildings.*





The maintenance building roof has been replaced within the last two (2) years, according to City Staff, and appears to be in excellent condition. Roof framing consist of manufactured wood trusses. Due to the caustic environment, press plates are beginning to show signs of corrosion.

Recommendation No. 34: *City staff should annually monitor and document the level of corrosion to ensure structural integrity of the trusses.*

It was observed that pool piping has been suspended from the roof trusses. The weight of this piping is placing unintended loading on the roof trusses, which could cause damage to the trusses.

Recommendation No. 35: *An alternate method of piping support be implemented.*

Pool piping in the mechanical room is supported insufficiently in several places. Ropes and pulleys tied to the building joists hold the overhead piping at multiple points.

The tubing for the chemical injection system is also largely unsecured or tangled.

Recommendation No. 36: *Permanent plated or galvanized steel pipe hangers and supports should be installed to support all pool piping in the mechanical room. Chemical tubing should be organized and securely routed using clips or PVC conduit.*





5. Building Interior

The interior of the facility consists of concrete floors, paint wood panelling, FRP (fiber-reinforced plastic). Buildings do not have a fire sprinkler system. There is no fire alarm system in the facility, but a system is not required by code. A copper telephone system is comprised of a single copper phone line that serves the office phone. The service cable is routed along and attached to the top of the fence on the north side of the pool and enters the building at the north end. The domestic water piping observed is copper and PVC. The waste and vent piping is PVC and cast iron. Multiple shut-off valves and drains are located on the domestic water system, which are used to winterize the building.

The existing aquatics area contains the men's and women's locker rooms, lifeguard office and ticketing office. There are no family or assisted use changing rooms provided in the current facility. City staff indicated that there is a need for family or assisted changing rooms at the facility.

Recommendation No. 39: *Consideration of future family / assisted use changing room(s) and locker areas be provided.*

The floors throughout the aquatics building show minimal signs of cracking. Floors have been painted and show minor amounts of wear, peeling or flaking; with signs of discoloration or staining which may be due to current cleaning procedures.

Recommendation No. 40: *Update current cleaning procedures to limit staining / discoloration of the floor surface.*

Hollow metal doors at the maintenance building facility are in serviceable condition, with surface corrosion and minor damage from use and replacement of hardware.

Recommendation No. 37: *Refinish the existing doors and frames. Along with monitoring for repair and possible replacement of the doors, frames and hardware in the future.*

The exterior lighting of the facility is comprised of wall mounted flood lights and pole mounted lights around the pool deck. Per the facility manager, the exterior luminaries are using high pressure sodium lamps. This lamp source produces an orange tinted light that make it difficult for the human eye to distinguish details, which can make people feel less secure. The benefit of HPS lamps is that they have a long life, but lumen output decreases relatively quickly which can leave areas under lit over time. The current hours of the facility are limited in the evening because the lights do not produce enough light on the pool deck. The exterior lighting controls are comprised of a pneumatic time clock.

Recommendation No. 38: *The pool deck luminaries be replaced with LED luminaries designed meet current code illumination requirements per the Department of Health.*





Interior locker room walls are in adequate condition, with minor corrections needed at PLAM joints and minor damage at corners and along the stem wall interface. Sealant at joints appeared to be in adequate condition.

Recommendation No. 41: *Repair damaged and RFP trim sections to maintain watertight joints.*

Walls in the lifeguard and ticket portion of the aquatics building are painted wood paneling. This paneling has multiple cut-outs serving as access points to different utilities.

Recommendation No. 42: *Install access plates and/or doors at paneling cutouts.*





The locker room P-LAM counters are in varying states of delamination.

Recommendation No. 43: *Replace countertops for sanitary purposes along with ADA items portion of this report.*

Toilet partitions and urinal screens are showing their age and soon will become unserviceable.

Recommendation No. 44: *Future replacement of partitions with moisture resistant partitions such as phenolic or solid plastic in lieu of painted ferrous partitions.*



Plumbing fixtures and accessories are showing their age with differing lavatories (sinks), faucets, urinals, soap dispensers, from multiple replacements. Ferrous metal lockers in the locker rooms are showing signs of corrosion.

Recommendation No. 45: *Schedule the replacement of plumbing fixtures accessories and lockers in the future.*

There are two gas-fired high efficiency water heaters, manufactured by A.O. Smith. Both are 100 gallons, 300 MBH input, and are 9 years old. The intake and exhaust air for the heaters is piped through the roof. The heaters are piped in a parallel configuration, and a master mixing valve is used to temper the water supply that serves the showers and lavs. Overall, the domestic mechanical equipment has been well maintained and is in good working condition. Existing piping appears to be in good condition, although it was noted that hard water exists and scaling could be a factor on the domestic water piping. The plumbing fixtures in the locker rooms are aged and may not be low flow fixtures that conserve water.



The existing mechanical building's interior side of exterior walls consist of exposed 2x4 wood framing, unpainted on concrete slabs. The maintenance building only has one interior wall, which separates the pump room from the chemical storage room. This wall is also a 2x4 wood framed wall with painted exterior OSB paneling. Penetrations through this separation wall are unsealed.

Concrete floors show minimal cracking, consistent with concrete construction shrinkage.

There appears to be a water stain on the ceiling.

Recommendation No. 46: *The water mark be monitored to determine if the new roof is leaking or if it is an old water mark.*

The main service entrance disconnects that are located on the exterior of the building are old but appear to be in good working condition. Each (2) service disconnect is rated 208/120-volt, 3-phase, 200 amp fed from 3 pole mounted 15KVA utility transformers connected in a wye configuration. The original building service provides power to the offices, restrooms locker rooms, and main pool equipment room including the pool pumps. The second electrical service was added in the early 1990's and is dedicated to the pool systems that serve the slide tower.



All building panelboards are in working condition but are beyond the manufacturer's end of useful life. This designation means that it might be difficult to find replacement parts. The building service panelboard is full, and a remodel might require the installation of new sub panels.

Per the latest edition of the National Electrical Code, the pool equipment rooms have been designated as corrosive environments. This means that all of the electrical equipment located in these rooms shall be rated NEMA 4X unless there is adequate air flow through the room to prevent build up of chemical gases. It is evident that there is not adequate air flow in the pool equipment rooms because of the rusting of the electrical enclosures and conduits that has occurred as seen in the photos below.

Recommendation No. 47: *All electrical equipment be updated to NEMA 4X or upgrades to buildings mechanical system to provide adequate airflow in these corrosive environments.*

Interior lighting is comprised mainly of A19 incandescent sockets with a few surface mounted 1x4 lensed fluorescent luminaries. Currently the A19 sockets are installed with 60 watt incandescent lamps, and the surface mounted 1x4's are installed with T-12 lamps. These lamp sources are considered obsolete since they are inefficient, contain hazardous material, and replacement parts are being phased out by the lighting industry. All areas of the building appear to have adequate lighting.

Recommendation No. 48: *Current A19 socket lamps be updated to a LED version as part of the facilities standard maintenance, reducing future maintenance and energy cost.*

Most of the building contains line voltage toggle switch manual controls, which does not meet the 2015 Energy Code as adopted by the State of Washington. Therefore, in the event of a remodel, these controls would need to be updated to include occupancy and daylight sensors to meet current code. There appears to be no emergency egress lighting in the building.

The branch circuit wiring is a mix of both RGC and PVC conduit and wire. It appears to be in good condition except in the pool equipment rooms. The rigid conduit located in the pool equipment rooms is showing signs of rusting due to the corrosive environment. All the receptacles located in areas susceptible to water have been updated to have GFCI protection.

It was observed that the pool boiler system in the equipment room and the pool slide platforms are missing their code required emergency shut down switches.

The pool equipment room contains the pool heaters, sand filters, and other pool equipment. The domestic water shutoff is located in the pool equipment room and serves pool makeup water in addition to the locker rooms.

The lap pool filtration system utilizes a horizontal high-rate sand filter. The water is disinfected through the injection of sodium hypochlorite, or liquid chlorine, and the pH is balanced with the addition of hydrochloric acid.

The perimeter overflow gutters drain to a surge tank in the mechanical room. The circulation pump pulls water from the surge tank and pushes it through the filtration system.

The pool water is heated by a natural gas fired pool heater. However, staff report the pool heater has not been in use for the past several seasons.

The circulation pump is located at-grade, above the water level of the pool and surge tank. The pump is a not a self-priming style pump and depends on a flooded suction environment to properly start. This location makes it extremely difficult to restart the flow of water after the pump and system have been stopped. In the process of starting, the pump may easily run without sufficient flow and cause damage to the pump.

In addition, the visible housing, flanges and bolts of the pump are significantly corroded; suggesting a diminished lifespan of the pump and motor.





At the time of observation of the pool, the flow meter indicated a flow rate of 337 gallons per minute. This flow rate represents a turnover rate of approximately 6.7 hours. For this pool, code requires a turnover rate of no more than 6 hours. There are several reasons a pool system may not achieve the required turnover rate. The pump may have lost efficiency over time, the pump impeller could be damaged or otherwise working improperly, the filtration system could be restricting the flow of water, or the piping could have calcification or other build-up to prevent proper flow. Further investigation is needed to determine potential solutions. The pump VFD settings should be evaluated for additional capacity.

Recommendation No. 49: *A subgrade space should be built to allow a new, replaced circulation pump to draw water from below the water surface level.*

Beyond the corrosion on the pump, many of the bolts and flanges of the valves and piping connections in the mechanical room are significantly corroded.



Recommendation No. 50: *The corroded bolts, flanges, valves or valve components should be replaced to prevent potential future failure.*

The wading pool filtration system utilizes a high-rate sand filter. Water is disinfected using an erosion feeder filled with calcium hypochlorite, "Cal-Hypo", and the pH is balanced with the addition of hydrochloric acid.

The circulation pump pulls water directly from the skimmer and main drain and pushes it through the filtration system.

The pool water is heated by a natural gas fired pool heater. However, staff report the pool heater has not been in use for the past several seasons.

The pool heater flume has an elbow that is badly corroded and deteriorating. This suggests that when in operation, the heater is overheating or has insufficient venting. The heat exchanger or other internal components of the heater may likely also be damaged.



Recommendation No. 51: *The pool heaters should be inspected by a manufacturer certified installer prior to being brought back into operation.*

The Cal-Hypo erosion feeder requires a pressure differential to drive water through the feeder. To produce this differential, it is customary to install the influent and effluent of the feed on the pool system with other equipment, such as the filter, between the two connections. The wading pool erosion feed influent connection is immediately after the circulation pump, and the effluent is between the filter and the pool heater. With the erosion feeder effluent prior to the pool heater, pool water with high concentrations of chlorine is routed through the pool heater. This is highly damaging and corrosive to the heat exchanger in the pool heater and will shorten the life of the pool heater.



There was no apparent installation of emergency stop switches in the vicinity of the waterslides. Start/Stop switches for each pump were present in the mechanical room. Emergency stop switches near the waterslide are necessary to allow a lifeguard or patron to stop the flow of water in the event of an injury or incident.



Recommendation No. 52: *The effluent connection for the erosion feeder should be relocated to a point in the pool piping system after the pool heater and all other equipment. The existing location of the effluent connection makes inspection of the pool heater (in the prior Recommendation) even more important prior to operating the heater.*

The waterslide water supply is an independent system from the lap pool and wading pool. The waterslide filtration system utilizes a horizontal high-rate sand filter. The water is disinfected through the injection of sodium hypochlorite, or liquid chlorine, and the pH is balanced with the addition of hydrochloric acid.

The slide runouts drain to an outdoor holding tank near the mechanical room. The circulation pump pulls water from the holding tank and pushes it through the filtration system. The two waterslide supply pumps pull water from the holding tank and deliver it to the starting tubs at the top of the slide tower. The circulation pump and supply pumps are located in a pump pit below grade and adjacent to the holding tank.

The waterslide water is heated by a natural gas fired pool heater. However, staff report the pool heater has not been in use for the past several seasons.

Recommendation No. 53: *Install emergency stop switches for both slides on the tower platform and adjacent to the runout terminations.*

At a sleeve joint in the mechanical room, the piping has a small leak, possibly at a tap in the pipe.



Recommendation No. 54: *Replace this sleeve and small section of piping to ensure the leak is sealed.*

The holding tank for the water supplied to the waterslide is outdoors with an open top. This open top is an unnecessary invitation to dirt, debris and other contamination. The water would be cleaner and easier to treat and maintain without this exposure. Also, while the tank is surrounded by a chain link fence, the open top is a danger to anyone able to enter the fenced area, including staff. Falling into the tank would very likely result in injury, or possibly death. Escaping from the tank, with the turbid water and suction piping, would be extremely difficult, or impossible without the ladder currently placed in the corner.



Recommendation No. 56: *The electrical connections to the pump motors should be secured and covered per the electrical code. The interior of the pump housing and impellers should be inspected for corrosion or wear to ensure effective operational despite the exterior visible corrosion.*

There is noticeable water intrusion and seepage on the wall of the pump pit shared with the holding tank. This water may be intruding groundwater or leakage from the holding tank.



Recommendation No. 55: *A concrete cap should be constructed on top of the holding tank. A trap door with ladder installed in the concrete cap for maintenance access to the tank (similar to the pump pit).*

The waterslide pumps have visible corrosion on the pump housings, bolts, and flanges. The electrical connections to each of the three pumps were open at the time of observation, and the wires with compression nuts were exposed. This presents a danger of electrical shock, particularly in an environment subject to water intrusion such as a pump pit.



Recommendation No. 57: *A leak detection test should be performed to determine if the holding tank is leaking and causing the water seepage into the pump pit. If the water is from the holding tank, repairs to the holding tank concrete and apparently failed waterstop will be necessary.*



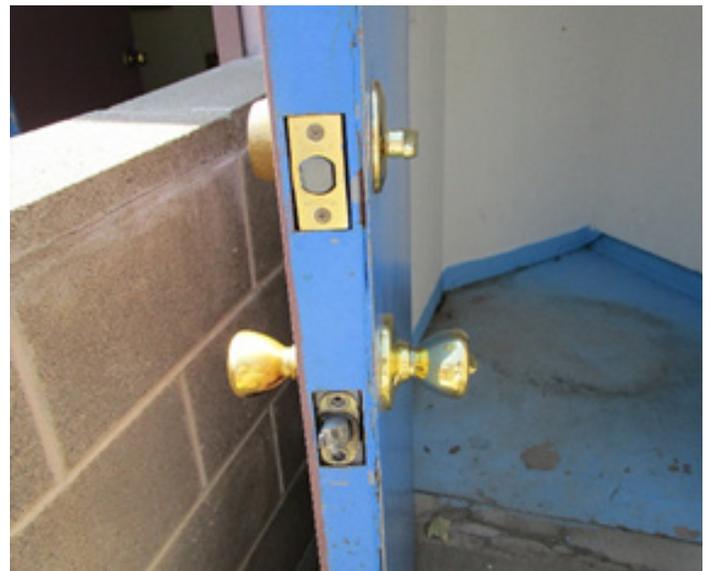


6. Exiting and Accessibility

To our knowledge, the facility was constructed prior to current ADA and accessible requirements for public facilities. As such, there are multiple items to be addressed to bring it into full compliance with current standards. Upgrades to the facility should be mindful of these requirements, allowing it to be brought up to current standards over time.

The current ticket sales windows are non-conforming with current standards, with the employee counter located at 38" above finish floor and placing the operable window opening approx. 2" higher. Consideration for a disabled employee and user both need to be taken into consideration at the sales window. We recommend any future renovations to building windows or casework to be installed per the current code requirements.

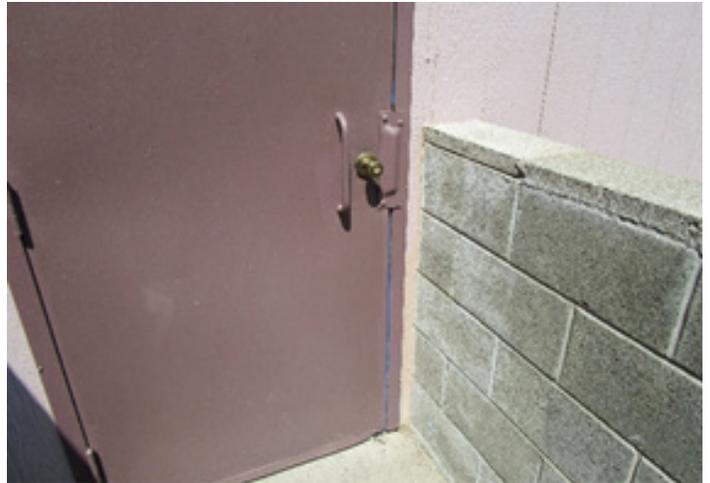
The required clear floor area at doors and accessible routes to doors are not in full compliance and would need revisions to bring them up to current standards. Door hardware is also not up to current standards, as the operation requires a user to grasp and simultaneously twist the handles to operate. The CMU screen wall as currently installed appears to limit the locker room entry door from fully opening; thus infringing on the clear floor area requirement. The same screen wall appears to be



too narrow at the 180 degree turn for a wheelchair user per code. Interior wall layout at the public entry to the lockers also infringes on the clear floor area requirement.

Recommendation No. 58: *Future replacement of latches to include lever style latches.*

Recommendation No. 59: *Future interior space planning or exterior building renovations to be reconfigured to provide the required maneuverability area per current code.*





Showers are currently configured as open “gang” showers. Slopes of the shower floor surface were not inspected for ADA compliance, but should be investigated as part of interior renovations. The current configuration allows for a user in a wheelchair to use the showers, but requires them to do so in their wheelchair. A mobility impaired individual (i.e. older individual with a walker) may find it difficult to use the current showers without the assistance of a wall mounted bench and hand-held shower head.

Recommendation No. 60: *Users of this facility type are stating their preference for more private showering stalls. If the current configuration is revised to provide individual shower stalls. Accommodations to provide accessible shower stall would be necessary.*

Towel / robe hooks are not currently provided at a height within the accessible reach range of a wheelchair bound individual at the showers or in dedicated changing stalls. There is also no dedicated changing stall to accommodate a mobility impaired individual.



Recommendation No. 61: *Coat / robe hooks be installed at the code required height, providing wheelchair users a location to hang towels and clothes while showering or changing.*

Recommendation No. 62: *Inclusion of an accessible changing stall should also be investigated. This includes providing the necessary maneuverability space inside the stall along with a code compliant bench.*



Sinks in the aquatics facility are not in compliance with current accessibility standards; with tops of sinks located more than 34" above the finished floor, counter supports and exposed uninsulated plumbing pipes appear to be located in the required knee clear area. Lavatory fixtures also require users to tightly grasp and twist the lavatory fixture to activate. Mirrors at lavatories do not appear to conform to current code requirements.

Recommendation No. 63: *Future replacement of sinks, counters and faucets be done so to bring these fixtures up to current code. All soap dispensers, electric hand dryers need to comply with code required reach ranges without obstructions. Existing mirrors should be relocated / replaced and/or new mirrors mounted at correct elevation above finish floor for wheelchair users. Facility staff to store hoses in a manner not infringing on mobility impaired users ability to use sinks.*



Toilets and urinals were not inspected to see if they comply with mounting distances or heights above finish floor. It was noted that toilet paper dispensers, grab bars (accessible stalls), and baby changing station do not appear to comply with current code.

Recommendation No. 64: *As part of any future renovation or repair to interior spaces, verification of compliance shall be performed against current codes. Bringing any deficient items up to current standard.*



Summary of Recommendations

ROUGH ORDER OF MAGNITUDE

Site

01 ADA Parking Stalls	\$1,000
02 Fencing Repair	\$1,000
03 Back-flow Preventer	\$3,000

Aquatic Amenities

04 Concrete Deck Cracks	\$2,500
05 Sealant & Deck Drain Covers	\$2,000
06 Grass Seating Options	\$8,000
07 Refinish/Re-plaster Pool	\$140,000
08 Leak Detection Test & Repair	\$1,000
09 Refurbish Water Slide	\$25,000
10 Remove/Replace Toddler Slide	\$20,000
11 Install Tile Depth Markers	\$12,000
12 Replace Stainless Steel Handrails	\$4,000
13 Install ADA Compliant Chairlift	\$7,000
14 Replace Pool Plaster	\$40,000
15 Remove/Replace Coping	\$15,000
16 Install Tile Depth Markers	\$4,000
17 Drain Water to Correct Level	\$0
18 Verify Drains for VGBA Compliance	\$8,000
19 Slide Tower Inspection	\$2,000
20 Close & Decommission with Water Feature Replacement	\$125,000
21 Slide Inspection	\$1,000
22 Refurbish upon Recommendation No. 21	\$60,000

Building Exterior

23 Repair of Concrete	\$2,000
24 Repair Door Jamb	\$1,000
25 Remove & Replace Sealant Joints	\$500
26 Install Roof Gutters & Down Leaders	\$4,000
27 Roof Line Alteration	\$2,000
28 Repair/Replace Skylight Monitor	\$2,000
29 Maintenance Future Replacement Hollow Metal Doors & Frames	\$250/Door \$1,000/Door
30 Cladding Termination at Grade	\$2,500
31 Evaluate Wall for Lateral Loading	\$5,000
32 Hard Wire Exhaust Fan	\$500
33 Close/Seal Cladding Openings/Penetrations	\$100/Opng.

Building Exterior CONTINUED

34 Monitor/Document Corrosion Press Plates	\$0
35 Alt Pipe Support Installed	\$5,000
36 Install Permanent Pipe Supports	\$6,000
37 Refinish Hollow Metal Doors & Frame	\$250/Door
38 Update Site Lights to LED	\$10,000

Building Interior

39 Family/Assisted Changing Room	\$18,000
40 Update Cleaning Procedures	\$0
41 Repair & Replace RFP Panels & Trim	\$1,000
42 Install Access Doors/Plates	\$250/Door
43 Replace Pump Counters	\$1,200
44 Replace Toilet Partitions	\$9,000
45 Schedule Plumbing Fixture Replacement	\$13,500
46 Monitor Ceiling Water Mark	\$0
47 NEMA 4X Equipment HP Grade	\$25,000
48 Install LED Lamps	\$500
49 Construct Pump Pit for New Circulation Pump	\$75,000
50 Replace Corroded Bolts, Flanges & Valves	\$14,000
51 Inspect Pool Heater by Certified Installer	\$5,000
52 Relocate Chlorine Injection Point	\$100
53 Install Emergency Stop Switches for all Watersides	\$10,000
54 Repair Leaking Pipe, Mechanical Room	\$2,000
55 Construct Concrete Cap on Holding Tank	\$4,000
56 Install Secured & Covered Electrical Connection to Pumps	\$500
57 Conduct Leak Detection Test On Holding Tank To Identify Water Seepage at Pit	\$1,000

Exiting & Accessibility

58 Door Lockset Replacement	\$200/LS
59 Interior/Exterior Revisions to address Door Maneuverability Space	\$20,000
60 Accessible Shower Stalls	\$30,000
61 Install Robe Hooks at Accessible Height	\$50/Hook
62 Provide Accessible, Private Changing Stall	\$600/Stall
63 Accessible Plumbing Fixtures and Bathroom Accessories	\$15,000
64 Verify Compliance of Grab Bars Built-in Elements with future Upgrades	\$0

APPENDIX B

Public Engagement Documentation

City of Connell Parks, Recreation, and Open Space Plan (2020)

PROJECT MEMO



TO: Maria Peña
FROM: MillieAnne VanDevender
DATE: January 22, 2020
PROJECT NO.: 2190960.30
PROJECT NAME: Connell PROS Plan

SUBJECT: Task 2 Public Outreach-Connell Park and Recreation Advisory Board Workshop #1 (January 7, 2020)

Summary

As part of Task 2 of the City of Connell PROS Plan update project, we have prepared this memorandum summarizing the purpose and results of the workshop, as well as the materials prepared for and created by the workshop. The workshop was held on January 7, 2020 and followed the Park and Recreation Advisory Board (PRAB) agenda (prepared on January 3, 2020). The PRAB held the workshop as a special meeting since they typically do not hold meetings in the fall and winter months.

The purpose of the workshop was to present information and timelines of the project, to discuss suggested additions and revisions to the park guidelines, to gather input on the existing conditions of the City's parks, and to discuss goals and objectives for the future of the parks.

The following materials were made available to the public and Park and Recreation Advisory Board at the workshop:

- Park guidelines
- Survey form and survey website

MillieAnne gave a presentation (using PowerPoint slides) covering:

- A background on the purpose and process of the PROS plan
- Expectations and duties of the PRAB
- An opportunity to revise the current park guidelines
- A discussion of all the existing parks and the condition of each
- A discussion of the goals and objectives of the Plan, including ideas for improving individual parks

MillieAnne also asked all in attendance to please provide any photos of the parks and she provided contact information for the photos and/or future questions. There was also a discussion of the importance of public involvement and a link to the public survey created for the project was provided.

The meeting concluded with a reminder of the tight timeline for the project and the expectation that the PRAB will recommend approval of the PROS plan to City Council. The PRAB members present agreed to try to attend the next meeting planned for Tuesday, January 28th, 2020 at 6p.m.

Findings/Observations

- Attendance included four PRAB members, two City Council members, the Mayor, and a few members of the public.
- The meeting started at 6:00pm and concluded after one hour at 7:00pm.
- We had a good response to the materials prepared for the meeting. Responses to inquiries of individual parks are listed below.



The following comments were given by the Board, City Staff, and members of the public:

Heritage Park

- The park is no longer referred to as “Old Town Park”.
- It is in decent condition.
- The park grounds need landscaping on the north side
- Includes volleyball, basketball, a playground, etc.
- Lots of activity at this park.
- People want more seating, such as benches near the playground.
- Also want an additional pavilion near the parking lot, possibly a smaller one.

Pioneer Park

- Improvements to the skate park are needed and there was a suggestions to add lighting for safety.
- The baseball field needs surface upgrades.
- The disc golf course is in good shape.
- Additional shaded seating is desired.
- The basketball court is new and in good shape.
- Suggestion to pave the maintenance road for better connectivity.

Striker Park

- Volleyball nets exist, but are not well-loved.
- Convert to a Dog Park.
- Add junior soccer goals.
- Playground equipment is used frequently and needs new surface under it.
- Half-court basketball court is used a lot.

Columbia Park

- Half-court basketball court is in good shape.
- This is a frequent lunch spot for out-of-town guests.
- Could one volleyball net be moved from Striker Park to this park?



Clark St. Park

- Lots of activities here; especially common are soccer games and birthday parties.
- This is a good spot for travelers to take a break.
- This park has picnic tables, a playground, a basketball court, and soccer field.
- The soccer pitch needs renovation.
- Restrooms are in good shape.

Bike Path

- The path sees lots of use!
- There is a desire to extend the trail north and from east to west toward Downtown.
- It would be nice to have benches along the trail, possibly with covers for shade.
- Idea to add exercise equipment along the trail.
- Needs a water fountain.

Athletic Fields

- The baseball diamonds need work.

cc: Nicole Stickney



City of Connell Park and Recreation Advisory Board

2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

PUBLIC WORKSHOP Tuesday, January 7, 2020 at 6:00 pm



Purpose of the PROS Plan

The City of Connell Parks, Recreation, and Open Space (PROS) Plan serves as a guide for the development of the City's Parks and Recreation programs.



- (1) identify the recreational needs of the community such as bike/walking trails,
- (2) plan for the preservation of open spaces, and
- (3) plan for the upgrade of current facilities and the potential development of new facilities.



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Contents of the PROS Plan

The Washington State Recreation and Conservation Office (RCO) requires that an update of the plan be prepared every 6 years to maintain funding eligibility.

A successful plan contains:

- **Goals and objectives**
- **An inventory of existing parks and facilities**
- **Involvement from the public**
- **An assessment of what's needed and what is required**
- **A Level of Service Assessment**
- **A Capital Improvement Program (how will the plan be funded?)**
- **Adoption**



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Guidelines

1. Parks and Recreation planning shall be to promote the health, safety, and well-being of residents in order to enhance the quality of life.
2. **Recreational opportunities shall provide a wide range of activities so as to encompass all of the residents' interests and capabilities.**
3. The City intends to comply with all Federal and State environmental laws and consider the environmental and aesthetic qualities of Connell as new development occurs in the City.
4. **The City shall consider utilizing its ability through the Growth Management Act to impose impact fees and/or mitigation of said fees on developers and new development.**



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Guidelines

5. The Park Board shall work closely with the Planning Commission, City Council, and staff to prepare a budget for maintenance/operation and capital outlay with funds set aside for park purposes.
6. Monies collected specifically for the Parks and Recreation Reserve Account will be used to upgrade and replace parks equipment, buildings, structures, and landscaping. Monies may also be used to develop recreation activities at the City parks.
7. The Park Board shall prepare regulations encompassing rules for parks, such as scheduling, fees, and signage – listing rules of each park and guidelines for development and care of facilities. The goal shall be to maintain and preserve parks and equipment and protect investment, and to seek cooperation among community groups via education, stewardship, and maintenance for care and keeping of parks.



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Guidelines

8. The Park Board will encourage all citizens to participate in current and future park projects and activities and make their concerns known to the Board.
9. The Park Board will develop effective partnerships with community groups and institutions, including but not limited to NFSD, Boy Scouts, Little League, Swim Team, Eagle's Nest, Library, Downtown Development, Palouse Junction and others, including park maintenance by Coyote Ridge.
10. In consultation with City Council, the Park Board shall seek, identify, recommend and promote a dedicated funding source and create a project list for operation and maintenance of parks.



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Old Town Park (also known as Heritage Park)



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Washington

2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Pioneer Park (study conducted on condition of pool facilities)



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2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Striker Park



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2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Columbia Park



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2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Clark Street Park



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2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Community Bike Path - Public Artwork Sculptures



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2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Current Park Conditions

Athletic Fields- condition? How often used? Are people parking far away because lots fill?



Goals and Objectives

Goals

1. Preservation and replacement of existing facilities and enhancement of parkland.
2. Acquire new parkland as community growth warrants for optimal service to citizens.
3. Make all parks more accessible and increase compliance with ADA accessibility standards.
4. Continue to create and maintain partnerships with North Franklin School District, community organizations, and Franklin County on sports and general recreation activities and amenities.
5. The City will seek to fund the Park and Recreation Capital Improvement Plan through grant opportunities, impact fees, local taxes and donations.

Goals and Objectives

Objectives

1. To maintain or replace the following equipment:
 - Playground equipment – Add additional equipment to enhance play areas and maintain equipment already in place.
 - Sports equipment – Upgrade and maintain basketball courts, ball fields and soccer fields
 - General maintenance of equipment

Goals and Objectives

Objectives

2. Plan for and perform facility renovations:
 - Pool –
 - decking and sidewalk improvements
 - Improve grassy seating area adjacent to pool to comply with State Code
 - Replace plaster surface and paint interior surfaces of main pool and toddler pool
 - Replace toddler slide
 - Install ADA compliant chairlift
 - Create shaded area near Kiddy pool

Goals and Objectives

Objectives

2. Plan for and perform facility renovations:

- Pool House and mechanical building–
 - Provide exterior upgrades ranging from minor patching and caulking to consideration of a complete rebuild
 - Create family changing rooms
 - Update and/or replace interior surfaces and fixtures in restrooms such as countertops, sinks, and partitions
 - Perform upgrades to mechanical and electrical systems to increase performance and meet current codes
 - Provide improvements to meet ADA compliance

Goals and Objectives

Objectives

2. (continued) Plan for and perform facility renovations:

- Upgrade restroom fixtures and structures at all City parks
- Replace shelters and add cement pads to picnic shelters at all City parks
- Provide asphalt overlay on Walk-bike path
- Create a basketball court in Pioneer Park – East of the restrooms at the site of previous basketball court
- Purchase additional equipment for the Skate Park
- Amphitheatre/Pavilion upgrades

Goals and Objectives

Objectives

3. Build picnic shelters in the following City parks:
 - Pioneer Park
 - Striker Park
 - Clark Park
 - Heritage Park

Goals and Objectives

Objectives

4. Build a water spray facility in Pioneer Park

Goals and Objectives

Objectives

5. Determine feasibility and funding options for replacement of the swimming pool



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Goals and Objectives

Objectives

6. Complete the following projects at the Community Center:
 - Parking lot replacement
 - Interior renovations
 - Exterior renovations
 - Roof replacement



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Goals and Objectives

Objectives

7. To install a chain link homerun fence on the north-side of field at Pioneer Park. This would provide a barrier between homes and the park as well as upgrade baseball fields.

Goals and Objectives

Objectives

8. To develop or enhance parkland and facilities at the following park sites:

- Oasis Neighborhood Park

Additional Feedback

Surveys-
Online

<https://tinyurl.com/connellparks>

and on paper in City Hall

Photos!

Please send photos to
mvandevender@ahbl.com



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

PROJECT MEMO



TO: Maria Peña
FROM: MillieAnne VanDevender
DATE: January 29, 2020
PROJECT NO.: 2190960.30
PROJECT NAME: Connell PROS Plan
SUBJECT: Task 4 Plan Approval and Adoption-Connell Park and Recreation Advisory Board Public Meeting (January 28, 2020)

Summary

As part of Task 4 of the City of Connell PROS Plan update project, we have prepared this memorandum summarizing the purpose and results of the meeting, as well as the materials prepared for the meeting. The public meeting was held on January 28, 2020 and followed the Park and Recreation Advisory Board (PRAB) agenda (prepared on January 22, 2020). The PRAB held the meeting as a special meeting since they typically do not hold meetings in the fall and winter months.

The purpose of the meeting was to review the draft PROS Plan, gather feedback and suggestions on the draft Plan, present the results of the public survey, and to recommend approval of the PROS Plan to City Council. The draft PROS Plan was distributed to the Board prior to the meeting in order to provide time for review.

The following materials were made available to the public and Planning Commission at the workshop:

- Agenda
- A copy of the public survey results

MillieAnne gave a presentation (using PowerPoint slides) covering:

- A recap of the purpose and process of the PROS plan
- A review of the RCO recommended components of a successful PROS plan and the locations of the various components in Connell's draft PROS plan
- A review of the draft PROS plan
- Results from the public survey

The meeting included time for the Board to ask questions and provide comments. Time was also provided for public comment.

The Board discussed the 2002 interlocal agreement between the City of Connell and the North Franklin School District. They requested the buffer data for school ballfields and playgrounds be removed from the *Park Locations and Served Populations* section of the draft PROS Plan. They also requested the following be added to the *Athletic Fields* section of the draft PROS Plan:

“The interlocal agreement will be revisited and updated, as needed, in order to clarify use, maintenance, and cost responsibilities.”

The second recommendation from the Board was to include an item in the *Goals and Objectives* regarding the need for a water fountain and spigot at the Skate Park.

A member of the public commented that the tennis courts that were removed should be replaced, and the person also stressed the need for open space near the Oasis Neighborhood.

The Board recommended approval of the PROS plan to City Council.



Findings/Observations

- Attendance included three PRAB members, one City staff member, and two members of the public.
- The meeting started at 6:00pm and concluded at 7:06pm.
- We had a good response to the materials prepared for the meeting.

cc: Nicole Stickney

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City of Connell Park and Recreation Advisory Board

2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

PUBLIC MEETING Tuesday, January 28, 2020 at 6:00 pm



Purpose of the PROS Plan

The City of Connell Parks, Recreation, and Open Space (PROS) Plan serves as a guide for the development of the City's Parks and Recreation programs.



- (1) identify the recreational needs of the community such as bike/walking trails,
- (2) plan for the preservation of open spaces, and
- (3) plan for the upgrade of current facilities and the potential development of new facilities.



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Review of the draft PROS Plan

The Washington State Recreation and Conservation Office (RCO) requires that an update of the plan be prepared every 6 years to maintain funding eligibility.

A successful plan contains:

- **Goals and objectives** (pg. 23)
- **An inventory of existing parks and facilities** (pg. 9)
- **Involvement from the public** (pg. 18 and throughout)
- **An assessment of what's needed and what is required** (pg. 19)
- **A Level of Service Assessment** (pg. 22)
- **A Capital Improvement Program** (pg.25)
- **Adoption**

Review of the draft PROS Plan

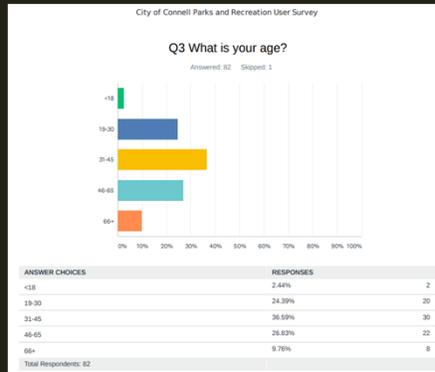
Comments?

Questions?

Suggestions?

Public Involvement

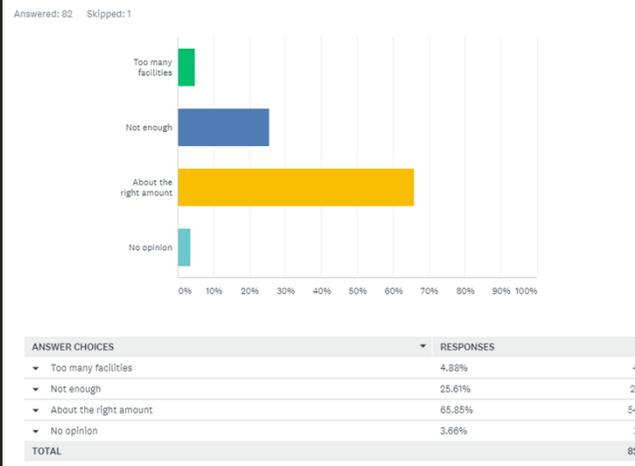
- Public Survey
 – online and on paper
 – open Jan. 7th- Jan. 23rd
 – data incorporated into PROS Plan
 – will be included as Appendix B



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Public Involvement

Please tell us your general impressions of the parks in Connell. How would you rate the number of Connell's Park facilities?



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Public Involvement

■ Less Focus (1)
 ■ (2)
 ■ Moderate Focus (3)
 ■ (4)
 ■ Most Focus (5)

	LESS FOCUS (1)	(2)	MODERATE FOCUS (3)	(4)	MOST FOCUS (5)	TOTAL	WEIGHTED AVERAGE
Upgrading existing parks	1.25% 1	3.75% 3	30.00% 24	17.50% 14	47.50% 38	80	4.06
Maintaining existing parks	2.44% 2	2.44% 2	25.61% 21	26.83% 22	42.68% 35	82	4.05
Developing new parks	56.10% 46	14.63% 12	18.29% 15	2.44% 2	8.54% 7	82	1.93
Acquiring more land for parks	50.62% 41	18.52% 15	19.75% 16	3.70% 3	7.41% 6	81	1.99
Adding amenities to existing parks (e.g. shelters, grills)	2.44% 2	2.44% 2	19.51% 16	29.27% 24	46.34% 38	82	4.15
Preserving wildlife habitat areas / open space	28.40% 23	16.05% 13	30.86% 25	11.11% 9	13.58% 11	81	2.65
Expanding the trail	10.98% 9	8.54% 7	29.27% 24	14.63% 12	36.59% 30	82	3.57
Other (Please specify)	44.19% 19	9.30% 4	30.23% 13	9.30% 4	6.98% 3	43	2.26



2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Public Comment



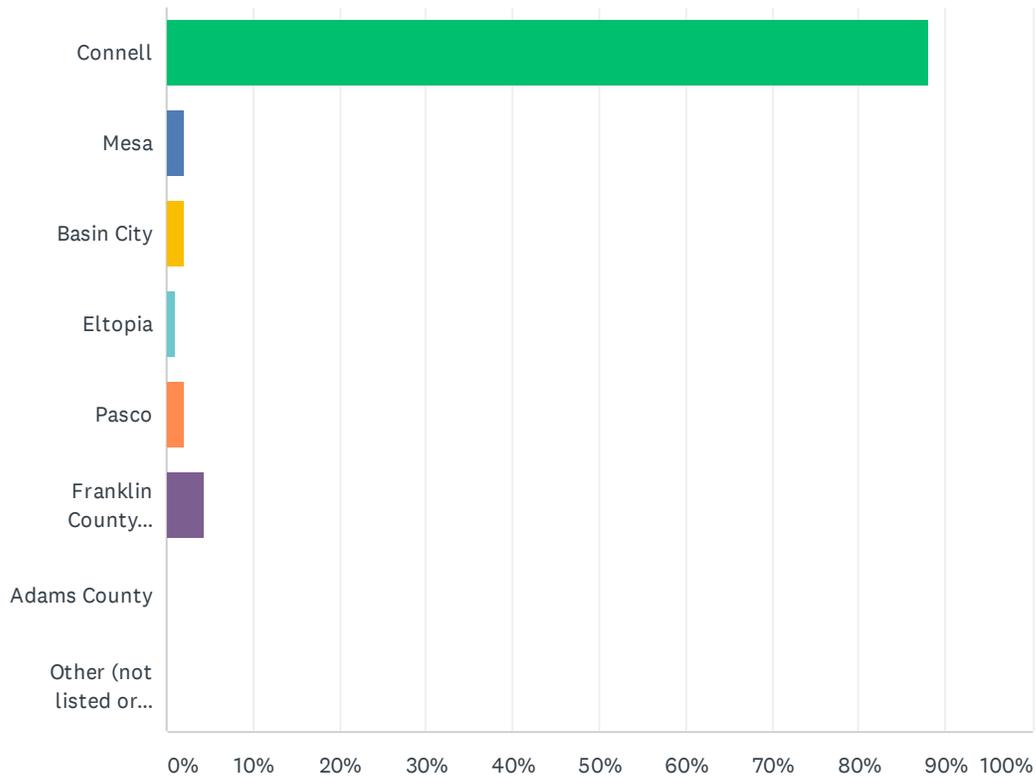
2020 PARK, RECREATION, and OPEN SPACE (PROS) PLAN

Suggested Motion

*I move that the Park and Recreation
Advisory Committee recommend
approval of the proposed
Park, Recreation, and Open Space Plan
to the City Council.*

Q1 Where do you live and how long have you been a resident of that place?

Answered: 92 Skipped: 1



ANSWER CHOICES	RESPONSES	
Connell	88.04%	81
Mesa	2.17%	2
Basin City	2.17%	2
Eltopia	1.09%	1
Pasco	2.17%	2
Franklin County (unlisted)	4.35%	4
Adams County	0.00%	0
Other (not listed or prefer not to answer)	0.00%	0
TOTAL		92

Q2 How many years have you lived there?

Answered: 85 Skipped: 8

City of Connell Parks and Recreation User Survey

#	RESPONSES	DATE
1	40	1/27/2020 2:42 PM
2	17	1/23/2020 12:24 PM
3	20	1/23/2020 12:21 PM
4	1	1/23/2020 12:17 PM
5	24	1/23/2020 12:14 PM
6	9	1/23/2020 12:10 PM
7	15	1/22/2020 6:59 PM
8	4	1/22/2020 6:28 AM
9	20	1/20/2020 8:27 AM
10	2	1/20/2020 7:56 AM
11	3	1/18/2020 3:45 PM
12	5	1/17/2020 4:38 PM
13	31 years	1/17/2020 9:46 AM
14	21 years	1/16/2020 6:33 PM
15	24	1/16/2020 6:30 PM
16	20	1/16/2020 6:20 PM
17	25	1/16/2020 6:14 PM
18	1	1/16/2020 5:54 PM
19	25	1/16/2020 5:02 PM
20	1	1/16/2020 3:46 PM
21	49 years	1/16/2020 3:41 PM
22	9	1/16/2020 2:48 PM
23	18	1/16/2020 8:05 AM
24	13	1/15/2020 9:22 PM
25	7	1/15/2020 8:55 PM
26	32 years	1/15/2020 8:29 PM
27	16	1/15/2020 8:25 PM
28	6	1/15/2020 8:12 PM
29	29	1/15/2020 8:01 PM
30	10	1/15/2020 7:26 PM
31	37 yrs	1/15/2020 7:01 PM
32	15	1/15/2020 6:54 PM
33	3	1/15/2020 6:47 PM
34	18	1/15/2020 6:45 PM
35	8	1/15/2020 6:43 PM
36	16 year	1/15/2020 6:39 PM
37	25	1/15/2020 3:18 PM

City of Connell Parks and Recreation User Survey

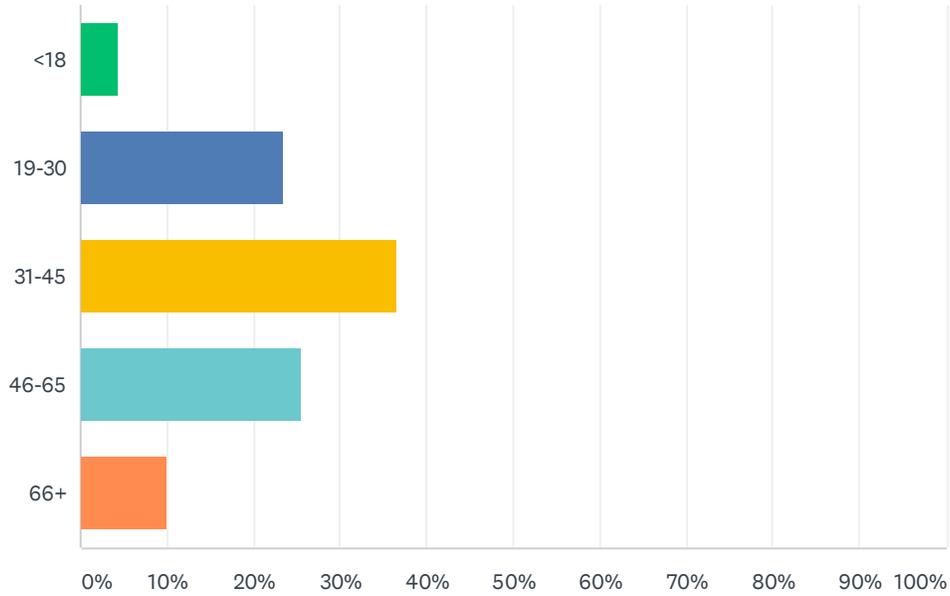
38	1	1/15/2020 2:49 PM
39	13 years	1/15/2020 1:44 PM
40	4	1/15/2020 1:29 PM
41	10	1/15/2020 12:53 PM
42	2	1/15/2020 12:42 PM
43	2 years	1/15/2020 12:01 PM
44	Don't remember	1/15/2020 11:30 AM
45	31 years	1/15/2020 11:25 AM
46	15 years	1/15/2020 11:12 AM
47	19 years	1/15/2020 10:48 AM
48	23	1/8/2020 5:32 PM
49	30	1/8/2020 4:18 PM
50	5	1/8/2020 10:53 AM
51	45	1/8/2020 9:10 AM
52	33	1/8/2020 8:54 AM
53	50	1/8/2020 8:10 AM
54	15	1/8/2020 12:58 AM
55	45 years	1/7/2020 11:15 PM
56	10	1/7/2020 10:24 PM
57	My whole life	1/7/2020 10:17 PM
58	6	1/7/2020 9:33 PM
59	12 years	1/7/2020 8:52 PM
60	58 yrs	1/7/2020 6:54 PM
61	6 years	1/7/2020 6:34 PM
62	50	1/7/2020 6:34 PM
63	Since 1981	1/7/2020 5:31 PM
64	49	1/7/2020 4:49 PM
65	20,	1/7/2020 4:24 PM
66	2	1/7/2020 4:15 PM
67	50 years	1/7/2020 4:03 PM
68	15	1/7/2020 3:50 PM
69	1	1/7/2020 3:50 PM
70	7	1/7/2020 3:40 PM
71	22	1/7/2020 3:32 PM
72	27	1/7/2020 3:23 PM
73	4	1/7/2020 3:01 PM
74	47	1/7/2020 2:59 PM
75	8	1/7/2020 2:58 PM

City of Connell Parks and Recreation User Survey

76	23yrs	1/7/2020 2:36 PM
77	50	1/7/2020 2:16 PM
78	27 years	1/7/2020 2:11 PM
79	20+ years	1/7/2020 2:06 PM
80	7	1/7/2020 1:42 PM
81	1.5	1/7/2020 1:31 PM
82	7 years	1/7/2020 1:31 PM
83	3	1/7/2020 1:31 PM
84	19	1/7/2020 1:29 PM
85	6	1/7/2020 11:59 AM

Q3 What is your age?

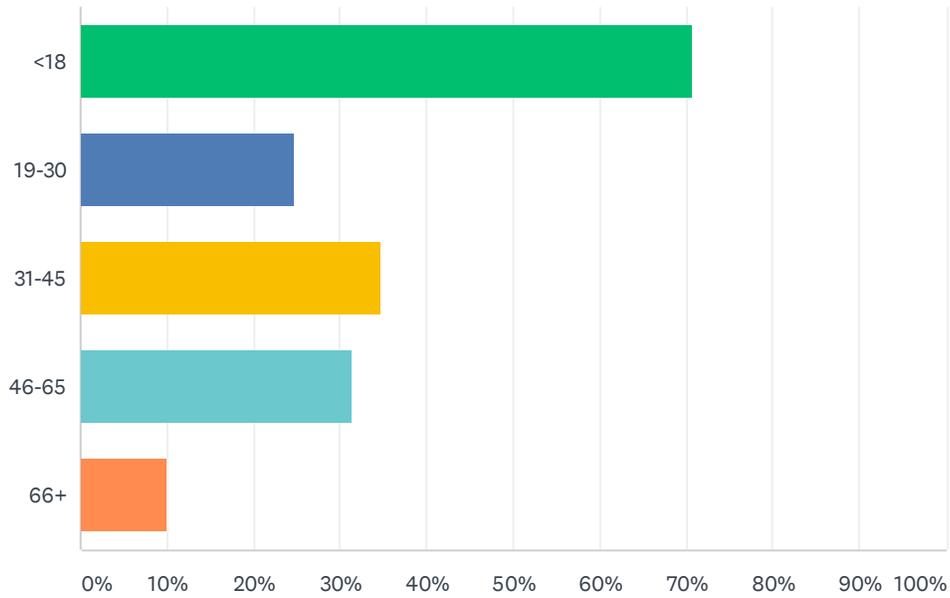
Answered: 90 Skipped: 3



ANSWER CHOICES	RESPONSES	
<18	4.44%	4
19-30	23.33%	21
31-45	36.67%	33
46-65	25.56%	23
66+	10.00%	9
Total Respondents: 90		

Q4 What age(s) are other members of your household?

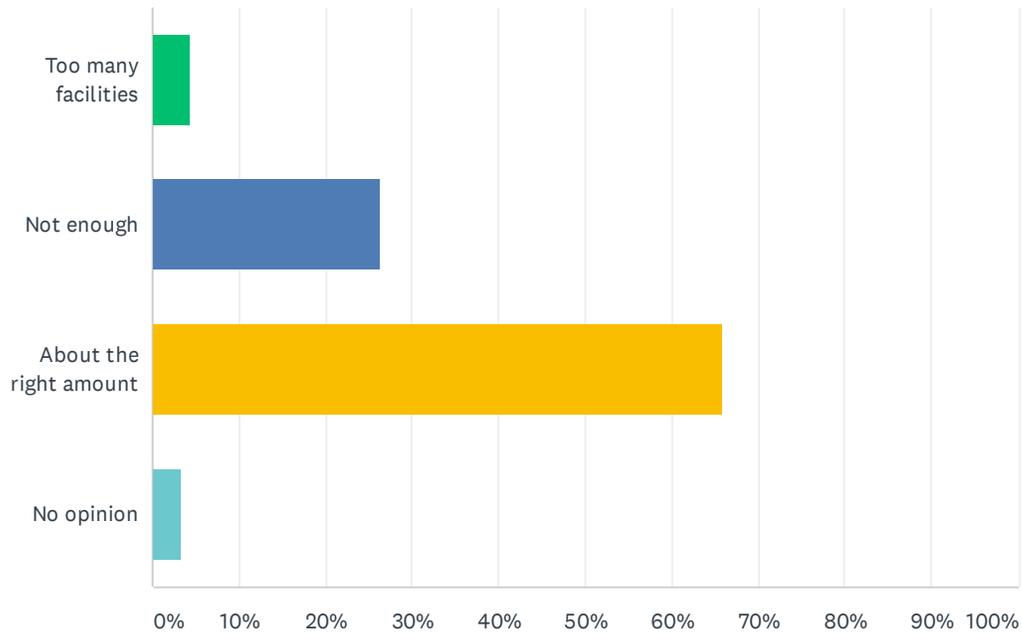
Answered: 89 Skipped: 4



ANSWER CHOICES	RESPONSES	
<18	70.79%	63
19-30	24.72%	22
31-45	34.83%	31
46-65	31.46%	28
66+	10.11%	9
Total Respondents: 89		

Q5 Please tell us your general impressions of the parks in Connell. How would you rate the number of Connell's Park facilities?

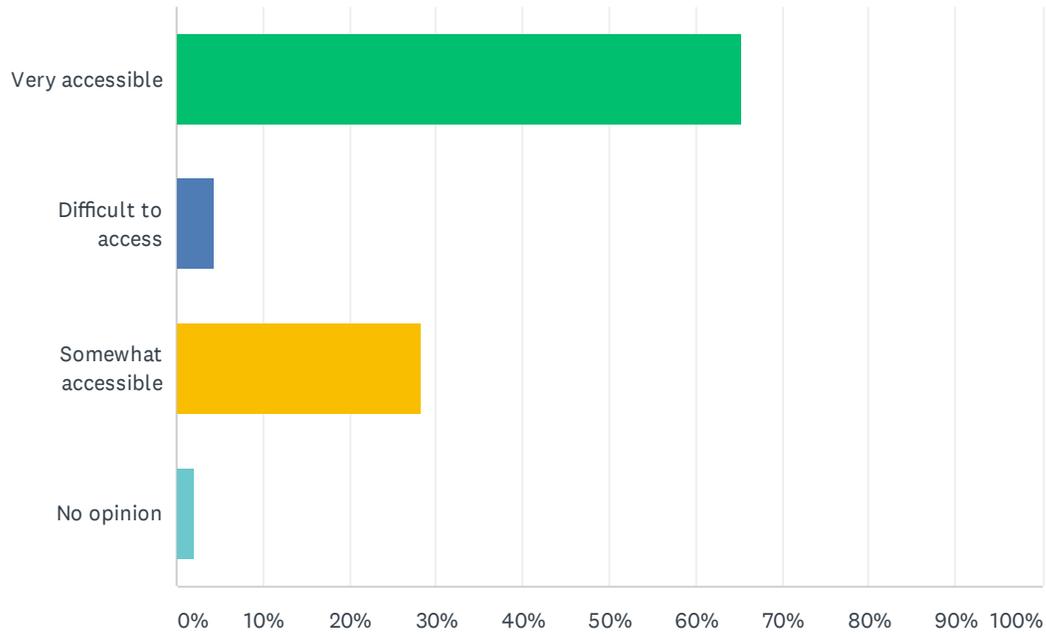
Answered: 91 Skipped: 2



ANSWER CHOICES	RESPONSES	
Too many facilities	4.40%	4
Not enough	26.37%	24
About the right amount	65.93%	60
No opinion	3.30%	3
TOTAL		91

Q6 How accessible are Connell's Park and Recreation facilities?

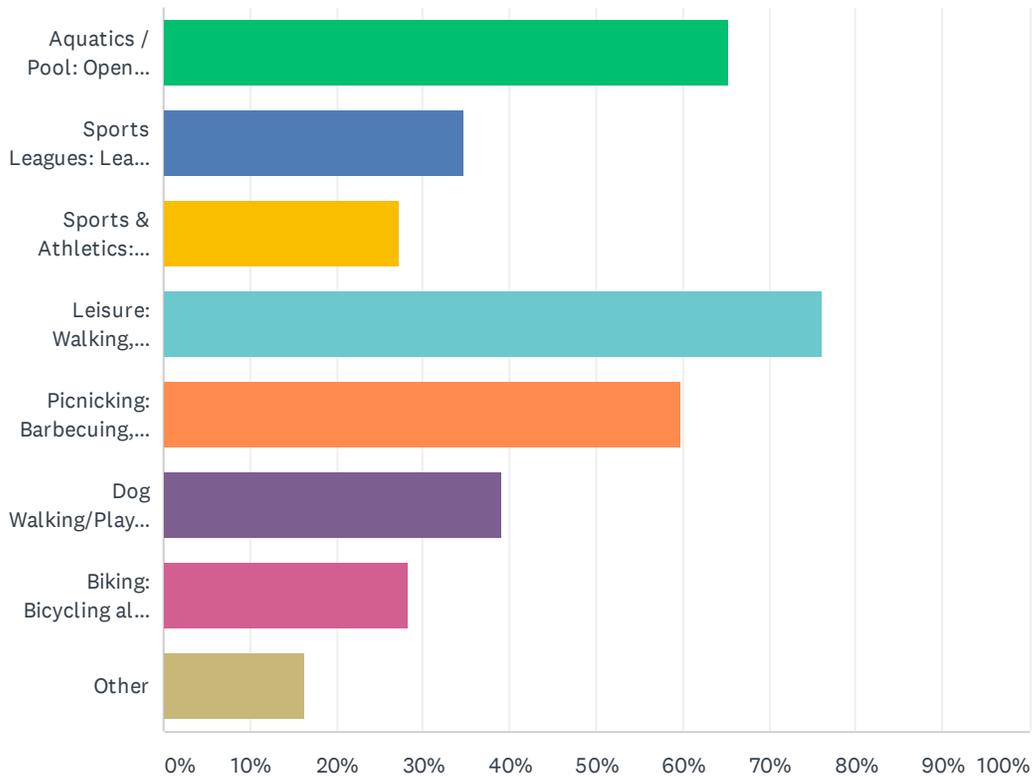
Answered: 92 Skipped: 1



ANSWER CHOICES	RESPONSES	
Very accessible	65.22%	60
Difficult to access	4.35%	4
Somewhat accessible	28.26%	26
No opinion	2.17%	2
TOTAL		92

Q7 Tell us about your use of the parks. When you visit City parks, which of the following activities do you participate in?

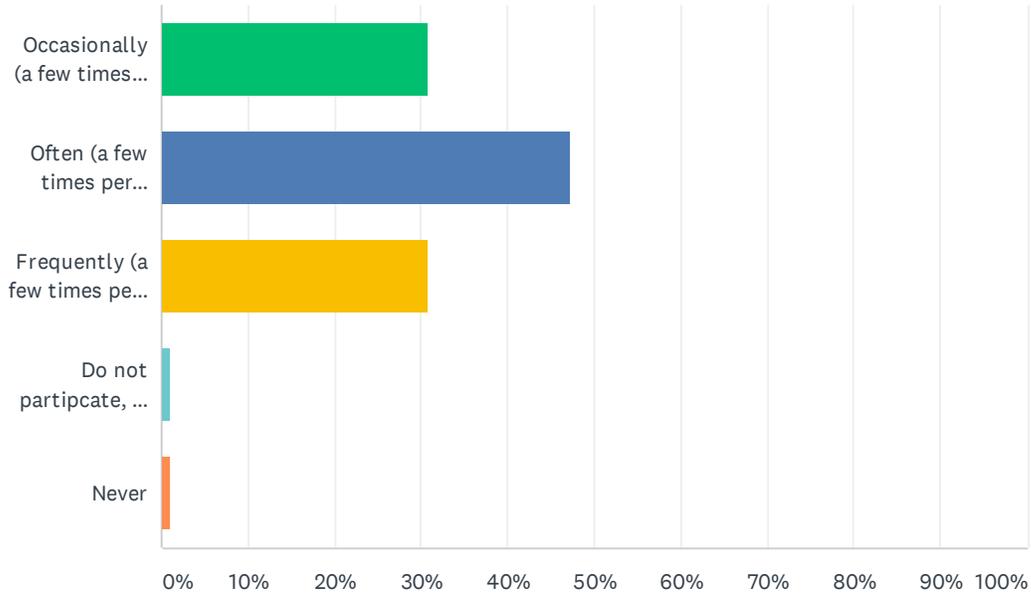
Answered: 92 Skipped: 1



ANSWER CHOICES	RESPONSES	
Aquatics / Pool: Open Swim, Swim Team, swim lessons, etc.	65.22%	60
Sports Leagues: League baseball, softball, soccer, etc.	34.78%	32
Sports & Athletics: Basketball, Volleyball, golf, jogging, frisbee, etc.	27.17%	25
Leisure: Walking, hiking, relaxing, etc	76.09%	70
Picnicking: Barbecuing, birthday parties, etc	59.78%	55
Dog Walking/Playing: Exercising and/or socializing your dog	39.13%	36
Biking: Bicycling along the bike path	28.26%	26
Other	16.30%	15
Total Respondents: 92		

Q8 How often do you participate in the activities you selected?

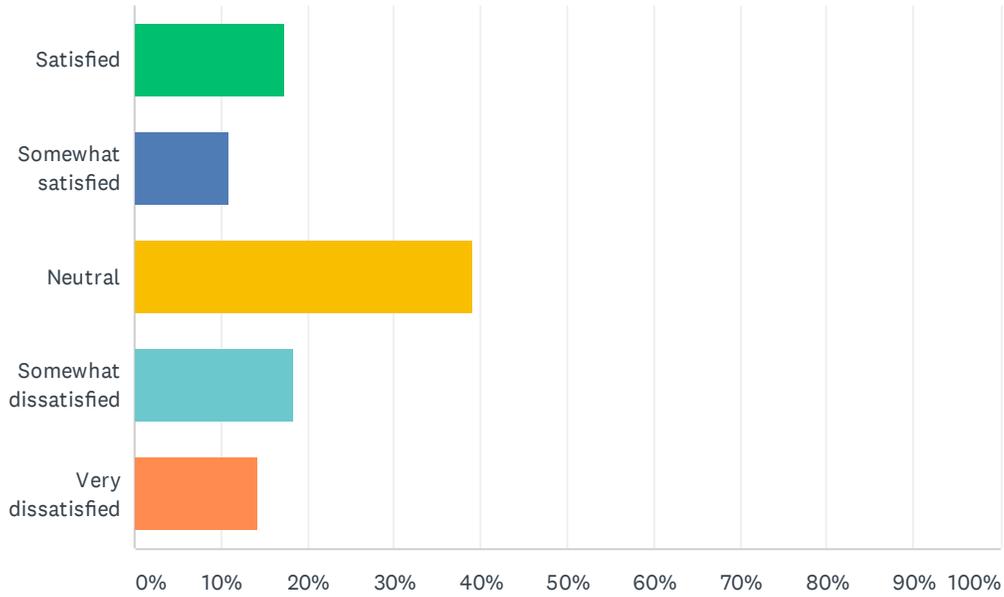
Answered: 91 Skipped: 2



ANSWER CHOICES	RESPONSES	
Occasionally (a few times per year)	30.77%	28
Often (a few times per month)	47.25%	43
Frequently (a few times per week)	30.77%	28
Do not participate, but would like to	1.10%	1
Never	1.10%	1
Total Respondents: 91		

Q9 How would you rate your satisfaction with Connell’s Recreation programs?

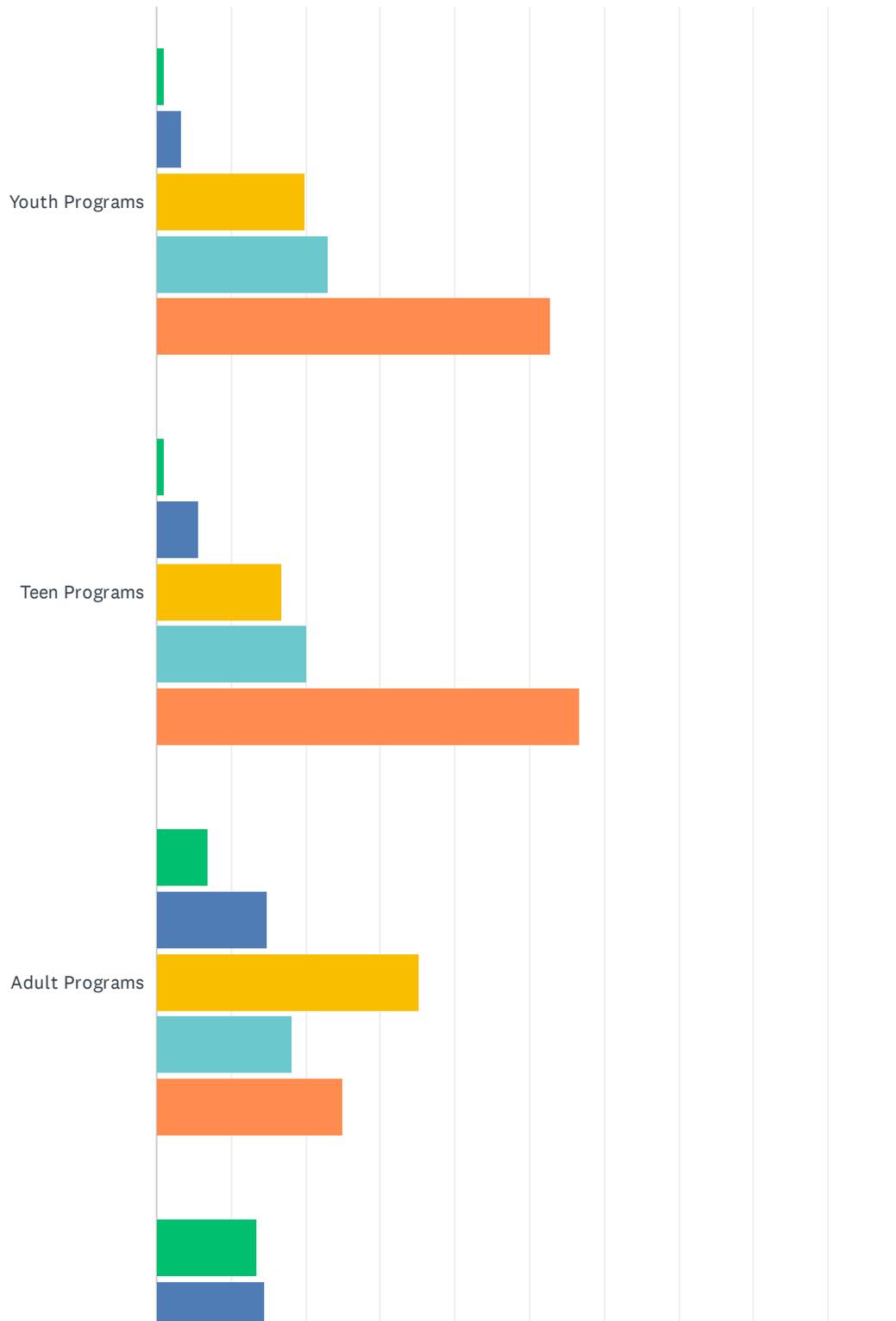
Answered: 92 Skipped: 1



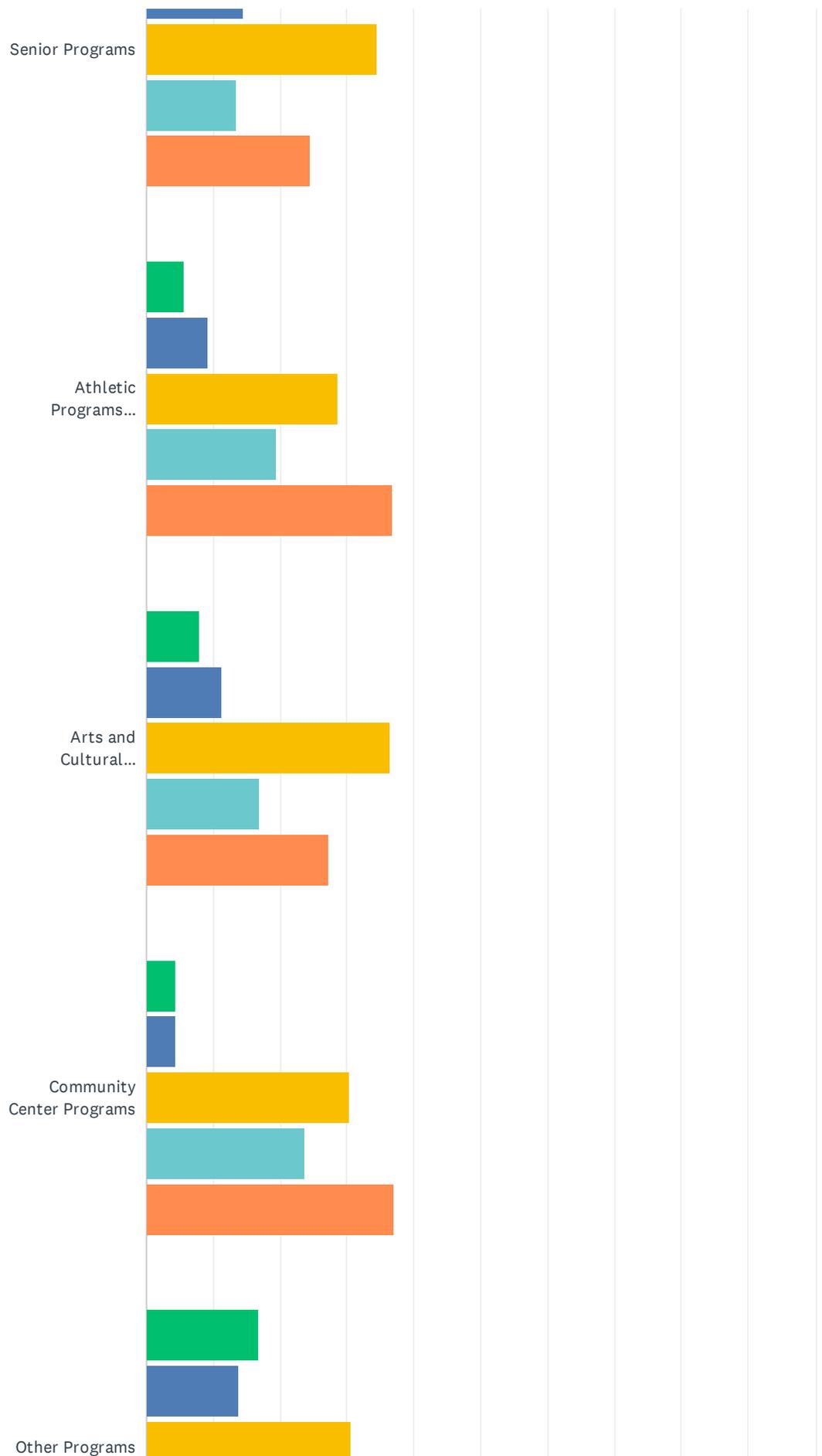
ANSWER CHOICES	RESPONSES	
Satisfied	17.39%	16
Somewhat satisfied	10.87%	10
Neutral	39.13%	36
Somewhat dissatisfied	18.48%	17
Very dissatisfied	14.13%	13
TOTAL		92

Q10 We would like to hear your opinion of how the City should focus its recreation and program efforts and funding. The following questions will ask you to rank the level of focus you believe each program should receive from Less Focus (1), to Moderate Focus (3), to More Focus (5).

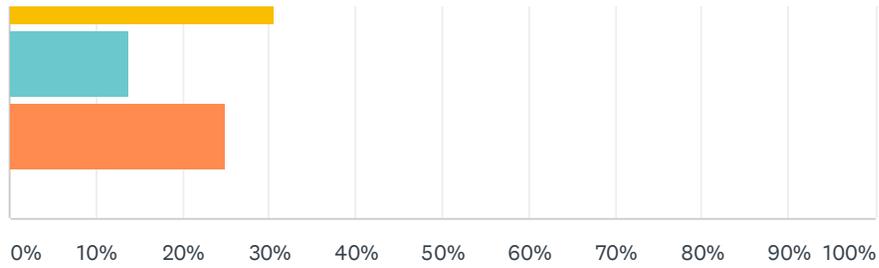
Answered: 91 Skipped: 2



City of Connell Parks and Recreation User Survey



City of Connell Parks and Recreation User Survey

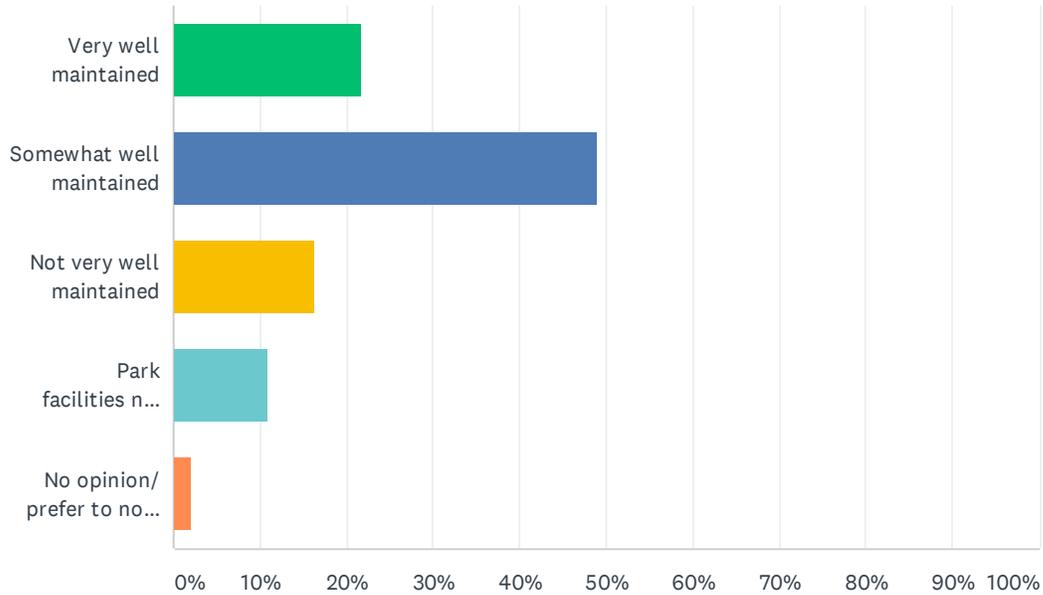


■ Less Focus (1)
 ■ (2)
 ■ Moderate Focus (3)
 ■ (4)
 ■ More Focus (5)

	LESS FOCUS (1)	(2)	MODERATE FOCUS (3)	(4)	MORE FOCUS (5)	TOTAL	WEIGHTED AVERAGE
Youth Programs	1.10% 1	3.30% 3	19.78% 18	23.08% 21	52.75% 48	91	4.23
Teen Programs	1.11% 1	5.56% 5	16.67% 15	20.00% 18	56.67% 51	90	4.26
Adult Programs	6.82% 6	14.77% 13	35.23% 31	18.18% 16	25.00% 22	88	3.40
Senior Programs	13.33% 12	14.44% 13	34.44% 31	13.33% 12	24.44% 22	90	3.21
Athletic Programs (organized sports)	5.75% 5	9.20% 8	28.74% 25	19.54% 17	36.78% 32	87	3.72
Arts and Cultural Programs	7.95% 7	11.36% 10	36.36% 32	17.05% 15	27.27% 24	88	3.44
Community Center Programs	4.49% 4	4.49% 4	30.34% 27	23.60% 21	37.08% 33	89	3.84
Other Programs	16.67% 12	13.89% 10	30.56% 22	13.89% 10	25.00% 18	72	3.17

Q11 How would you rate the quality and maintenance of the City's park facilities?

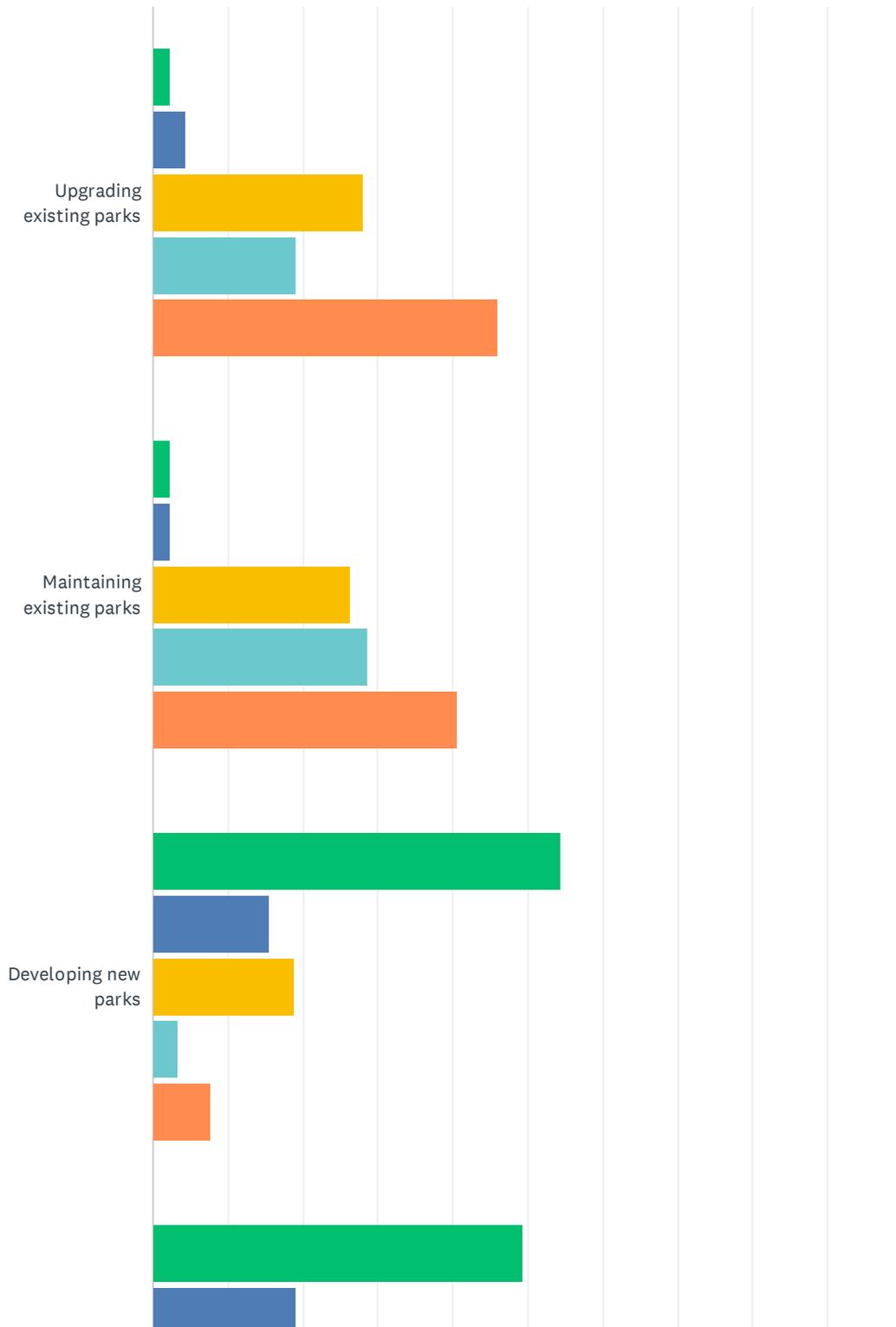
Answered: 92 Skipped: 1



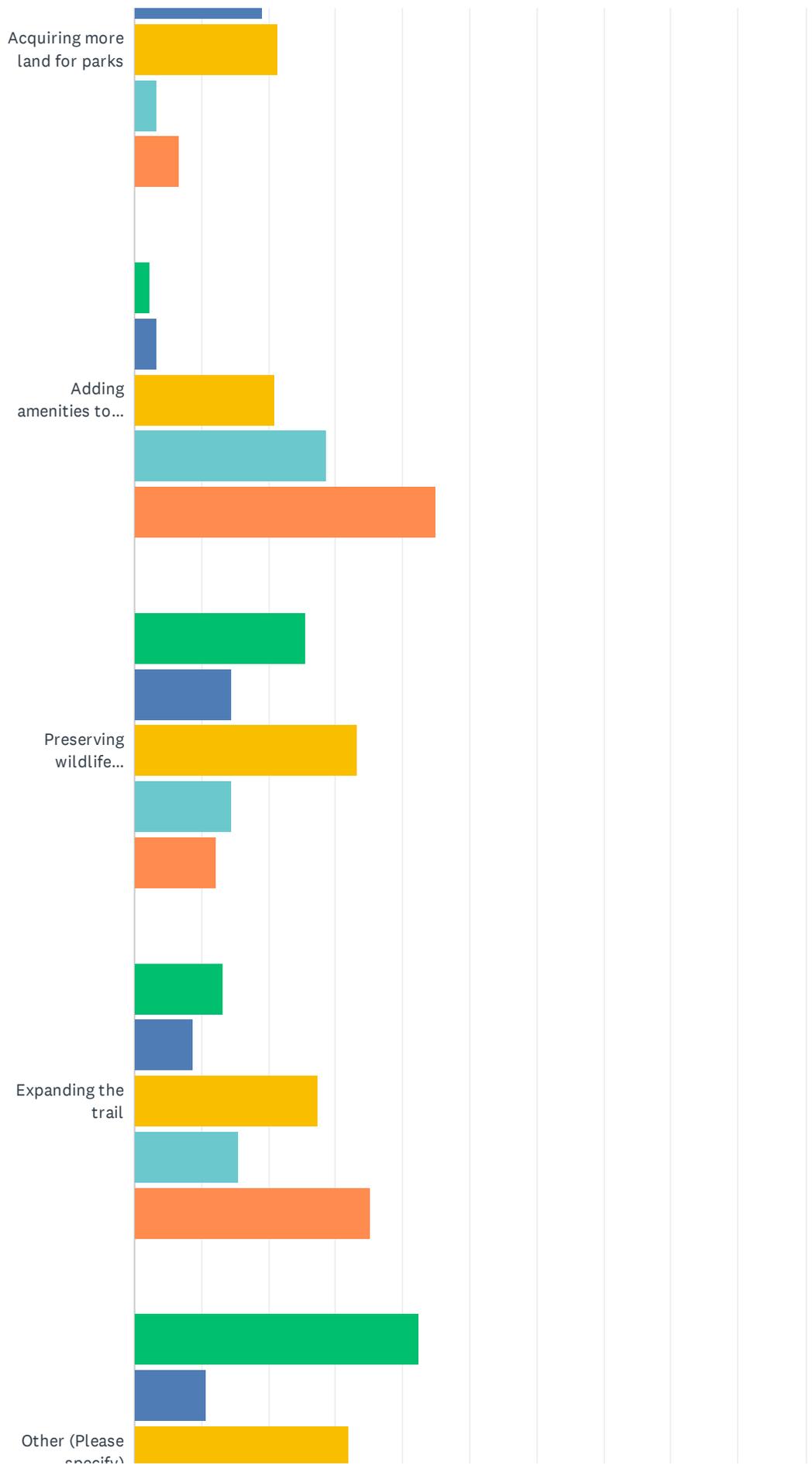
ANSWER CHOICES	RESPONSES	
Very well maintained	21.74%	20
Somewhat well maintained	48.91%	45
Not very well maintained	16.30%	15
Park facilities need major improvements	10.87%	10
No opinion/ prefer to not answer	2.17%	2
TOTAL		92

Q12 We would like to hear your opinion of how the City should focus its park facilities efforts and funding. The following questions will ask you to rank the level of focus you believe each effort should receive from Less Focus (1), to Moderate Focus (3), to Most Focus (5)

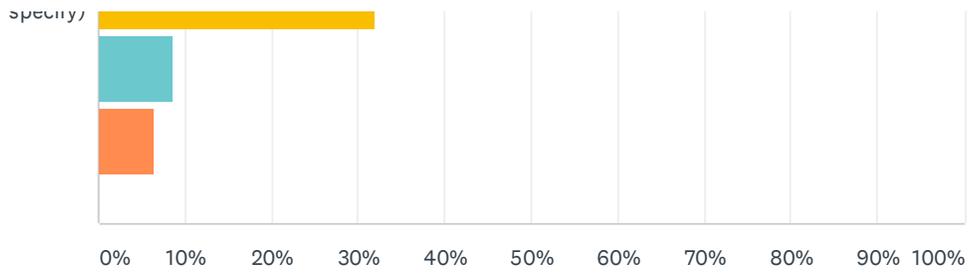
Answered: 91 Skipped: 2



City of Connell Parks and Recreation User Survey



City of Connell Parks and Recreation User Survey

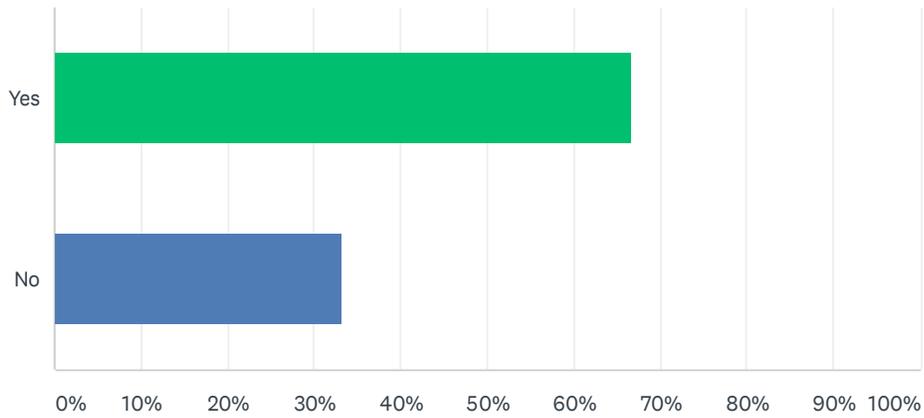


■ Less Focus (1)
 ■ (2)
 ■ Moderate Focus (3)
 ■ (4)
 ■ Most Focus (5)

	LESS FOCUS (1)	(2)	MODERATE FOCUS (3)	(4)	MOST FOCUS (5)	TOTAL	WEIGHTED AVERAGE
Upgrading existing parks	2.25% 2	4.49% 4	28.09% 25	19.10% 17	46.07% 41	89	4.02
Maintaining existing parks	2.20% 2	2.20% 2	26.37% 24	28.57% 26	40.66% 37	91	4.03
Developing new parks	54.44% 49	15.56% 14	18.89% 17	3.33% 3	7.78% 7	90	1.94
Acquiring more land for parks	49.44% 44	19.10% 17	21.35% 19	3.37% 3	6.74% 6	89	1.99
Adding amenities to existing parks (e.g. shelters, grills)	2.20% 2	3.30% 3	20.88% 19	28.57% 26	45.05% 41	91	4.11
Preserving wildlife habitat areas / open space	25.56% 23	14.44% 13	33.33% 30	14.44% 13	12.22% 11	90	2.73
Expanding the trail	13.19% 12	8.79% 8	27.47% 25	15.38% 14	35.16% 32	91	3.51
Other (Please specify)	42.55% 20	10.64% 5	31.91% 15	8.51% 4	6.38% 3	47	2.26

Q13 Would you be willing to pay higher pool admission fees to fund improvements?

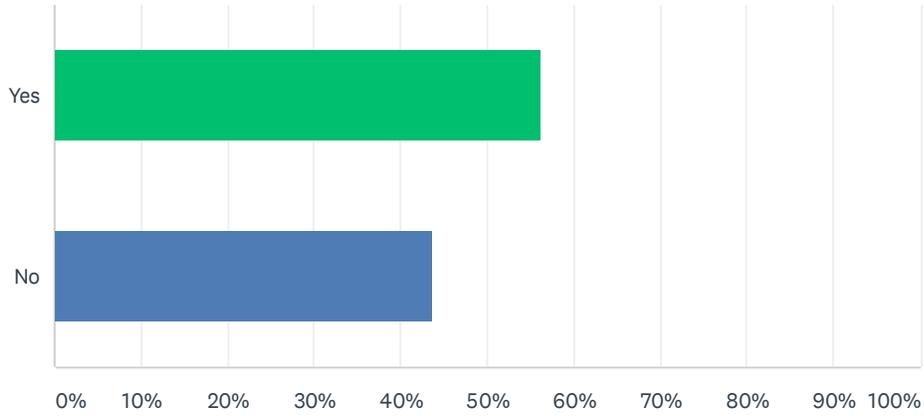
Answered: 90 Skipped: 3



ANSWER CHOICES	RESPONSES	
Yes	66.67%	60
No	33.33%	30
TOTAL		90

Q14 Would you be willing to pay higher taxes for park improvements?

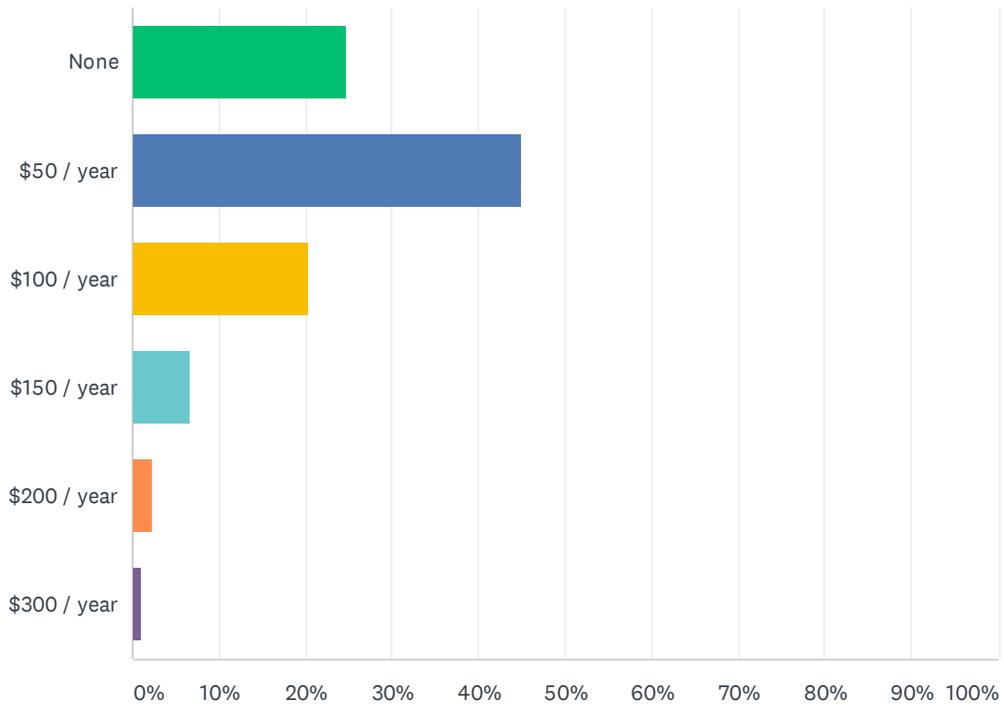
Answered: 87 Skipped: 6



ANSWER CHOICES	RESPONSES	
Yes	56.32%	49
No	43.68%	38
TOTAL		87

Q15 How much would you be willing to pay in higher taxes for park improvements?

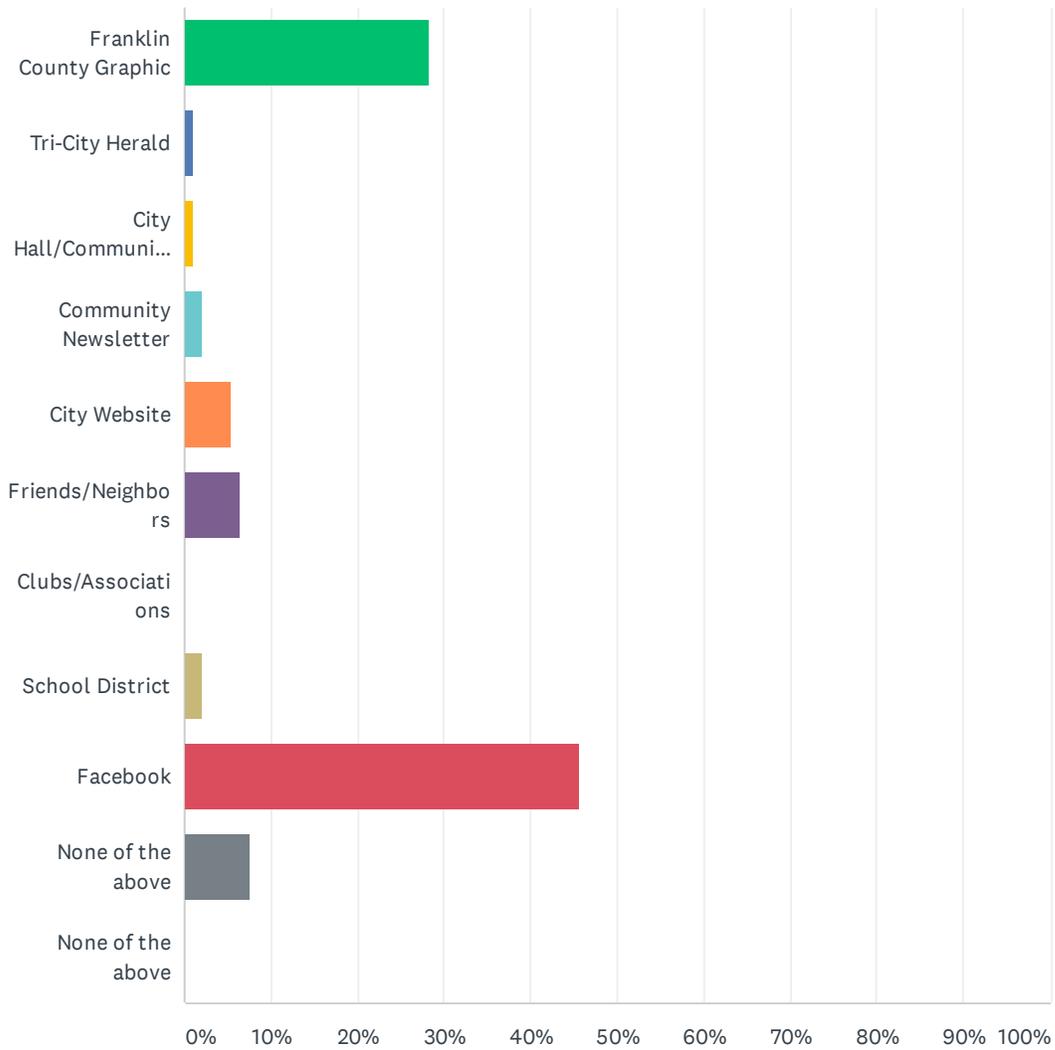
Answered: 89 Skipped: 4



ANSWER CHOICES	RESPONSES	
None	24.72%	22
\$50 / year	44.94%	40
\$100 / year	20.22%	18
\$150 / year	6.74%	6
\$200 / year	2.25%	2
\$300 / year	1.12%	1
TOTAL		89

Q16 How do you receive information about Connell's Park facilities and Recreation programs?

Answered: 92 Skipped: 1



City of Connell Parks and Recreation User Survey

ANSWER CHOICES	RESPONSES	
Franklin County Graphic	28.26%	26
Tri-City Herald	1.09%	1
City Hall/Community Center	1.09%	1
Community Newsletter	2.17%	2
City Website	5.43%	5
Friends/Neighbors	6.52%	6
Clubs/Associations	0.00%	0
School District	2.17%	2
Facebook	45.65%	42
None of the above	7.61%	7
None of the above	0.00%	0
TOTAL		92

**Q17 Please provide any additional comments you may have regarding
Connell's Parks and Recreation.**

Answered: 36 Skipped: 57

City of Connell Parks and Recreation User Survey

#	RESPONSES	DATE
1	Open bathrooms during winter.	1/23/2020 12:21 PM
2	Convert baseball field to softball field (maybe bring back summer/spring tournaments)	1/23/2020 12:10 PM
3	As popularity of owning dogs as both pets and service animals continues to rise there is a huge need for both a fenced dog park and open land to both exercise and socialize our dogs. I'm the owner of a larger dog witch is also an emotional support (service dog) and there is zero space to excercise my dog of leash. Simply walking my breed of dog does not work as his breed desires excercise and socializing daily. As a disabled person it's not easy to drive out of town to accomplish those. I've seen great success in the several dog parks I've utilized and they are 95% sustained by the mostly very respectful and responsible dog owners. In fact it would be hard to find many cities without dog parks and open land to use as Connell is behind the times of understanding that pets are part of the very people living and paying taxes in the city. In many cases pet owners care for there animals just as if it were one of there children and these pets need a little park time also. Extending the walking path would be a huge step for both citizens and there pets both. It's a class A path other than in trail and walking path standards is very short as it sits.	1/22/2020 6:28 AM
4	It would be really nice if we had more things for kids 3-5. There is nothing until they are 5 sports wise. Mini baseball or soccer ? And maybe less prisoners cleaning the parks mid morning. They should be doing it when there isn't kids around.	1/20/2020 7:56 AM
5	I would love to see a summer program through the city for ALL children to be involved in. There needs to be more for kids to do to stay out of trouble. Thank you!	1/18/2020 3:45 PM
6	This town could greatly benefit from an indoor year round pool. I propose researching the possibility of enclosing our existing pool and heating it year round. Like other cities eg Yakima they charge the public \$20-30 Monthly membership to offset costs. Water walking and lap swimming are some of the best low impact exercises for the elderly, which make up a huge population of the town. I believe the town can come together and make this possible	1/17/2020 4:38 PM
7	Signs to parks would be helpful	1/17/2020 9:46 AM
8	Add a tennis court in the parks	1/16/2020 5:54 PM
9	Years ago, when I was on the Park Board, we were able to fund a summer activity director. This person also managed the pool and staff. We have the same amount of parks to maintain as we do now. I fail to understand why, with more tax revenue, we can not run more efficiently. I would like to see the City recruit lifeguards in the winter and have them trained before the pool opens up in June. Thank you, Casey Hart.	1/16/2020 3:41 PM
10	Please don't tear out the disc golf at pioneer park. My son and I love playing that course in Connell.	1/15/2020 9:47 PM
11	I would love a dog park to let my dogs run around off leash. Dog parks in other cities require all shots, spay & neuter and city license so it would promote responsible owners.	1/15/2020 8:29 PM
12	Invest in a splash pad!!!! Wouldn't require life guards and great free fun for all ages	1/15/2020 8:25 PM
13	Maintain and improve current parks for different age group is great. It would be nice to take two kids under 5 to more places in town. There is only 2 places with limited/safe equipment to play one.	1/15/2020 8:01 PM
14	I think the pool should be updated as well with benches and more shade	1/15/2020 7:26 PM
15	We need a dog park and some sort of splash or fountain play area	1/15/2020 6:43 PM
16	We would like to see a dedicated dog park. I am pleased with the current parks but wish there was more benches and picnic tables in all the parks. I feel the parks are very well maintained.	1/15/2020 1:29 PM
17	Art and more flowers. Or benches/areas where I can have a nice conversation with someone. Comfortable Benches and drinking fountains along trail and main street	1/15/2020 12:53 PM
18	Lap swim times would be nice as well as pool aerobics.	1/15/2020 12:01 PM
19	Who run the Connell Parks and Recreation. What plan we have for the this year summer program like sports at the parks for kids beside swimming and the safety of riding bike. The most important is keep our skates parks clean from rock and garbage.	1/15/2020 11:30 AM

City of Connell Parks and Recreation User Survey

20	Connell doesn't need new parks they need to upgrade what we already have. I have lived in connell for almos 20 years and the parks are still the same, same old paint, same playground (wich are few and old). (Not including the "Connell Heritage Park". I played in these parks 20 years ago. Now my kids do, there are very dangerous and boring.	1/15/2020 10:48 AM
21	Need a dog park	1/8/2020 4:18 PM
22	More learning programs. Spanish. Children craft programs for summer	1/8/2020 8:10 AM
23	I enjoyed when you had Zumba classes , sewing, etc I would like to see more adult activies. More than meals on wheels.	1/7/2020 11:15 PM
24	New soccer nets at the park by the bus garage	1/7/2020 10:17 PM
25	The pool is the most important part of our parks, it needs to be replaced so please do what you have to do to keep it open for our students.	1/7/2020 9:33 PM
26	I would like to see the gully running through the east side of town get paved and connected to the walking trail. Maybe a tree or two and a bench would be nice	1/7/2020 6:54 PM
27	Keeping the pool open with good hours is an awesome asset to our community. I've considered driving to Moses Lake for swim lessons etc, but Connell would be so much easier!	1/7/2020 6:34 PM
28	As a taxpayer I am disappoointed that the pool is not open for adult lap swim. I totally support the pool but would appreciate it if there were fitness programs for the adults as well. Also, the pool should be heated according to Red Cross standards. The pool will never make a profit so we need to stop thinking it will. There is not much recreation in our community but the pool is one of the biggest assets we have. We should try to do as much programming and activities around it as we can.	1/7/2020 4:54 PM
29	Better care, more activities needed for adults	1/7/2020 4:15 PM
30	Make the "community" center more accessible for meeting space for groups, group meetings, classes, etc.	1/7/2020 4:03 PM
31	Need a dog park	1/7/2020 3:50 PM
32	We use the skate park and pool the most. The grass by the skate park needs to be mowed more frequently. Pool needs to be heated.... we did not use it much last year because it's cold. Could use a major update in toys also. It would be awesome if the community helped the elementary school in sport programs. Being new here I feel there is a disconnect between the community and the schools and they don't work together much.	1/7/2020 3:50 PM
33	There needs to be updates to popular, nicer parks and shut down the unsightly parks such as Striker. Also, make more community center activities other than hispanic bar brawls. There are other ethnicities in this town besides hispanic!	1/7/2020 3:40 PM
34	No programs/advertisement of programs, get people involved in the community	1/7/2020 3:23 PM
35	We need a dog park at striker!! If we could get the playground area fenced in that would be ☐☐	1/7/2020 3:01 PM
36	I would love to see a dog park and a splash pad	1/7/2020 2:58 PM